



# PROJECT SAMPLE

30 N GOULD ST STE N, SHERIDAN, WY 82801 | +1 (737) 316 2477 | INFO@SEEKONESTIMATES.COM

## MAJOR REMODEL AND NEW ATTACHED ADDITION 2-STORY SFD AND NEW DETACHED 2 - CAR GARRAGE



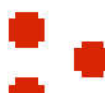
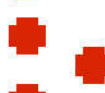



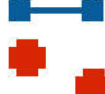

S#	DWG #	DETAIL #	CSI NO	DESCRIPTION	QTY.	UNIT	WASTAGE %	QTY W/ WASTAGE	MATERIAL COST	LABOR COST	TOTAL COST
<b>DIVISION 01 - GENERAL CONDITIONS</b>											
1				GENERAL REQUIREMENTS	1	LS	0%	1	\$ -	\$ -	\$ 65,000.00
				<i>Sub total</i>							\$ 65,000.00
<b>DIVISION 02 - EXISTING CONSTRUCTION</b>											
			02 00 00								
			02 41 13	<b>SELECTIVE SITE DEMOLITION</b>							
2	A1.1	A1.1		Remove existing flooring	148	SF	0%	148	\$ -	\$ 1.20	\$ 177.02
3	A1.1	A1.1		Remove existing window and frame	13	EA	0%	13	\$ -	\$ 60.00	\$ 780.00
4	A1.1	A1.1		Remove existing bearing wall	972	SF	0%	972	\$ -	\$ 1.32	\$ 1,282.91
5	A1.1	A1.1		(1'-6"x6'-0") remove existing fire place	2	EA	0%	2	\$ -	\$ 90.00	\$ 180.00
6	A1.1	A1.1		Remove existing wall	99	LF	0%	99	\$ -	\$ 7.20	\$ 712.01
7	A1.1	A1.1		Remove existing millwork	34	SF	0%	34	\$ -	\$ 7.20	\$ 246.17
8	A1.1	A1.1		Remove existing kitchen countertop	34	SF	0%	34	\$ -	\$ 3.12	\$ 106.67
9	A1.1	A1.1		Remove bath tub	1	EA	0%	1	\$ -	\$ 90.00	\$ 90.00
10	A1.1	A1.1		Remove bath vanity	1	EA	0%	1	\$ -	\$ 60.00	\$ 60.00
11	A1.1	A1.1		Remove water closet	1	EA	0%	1	\$ -	\$ 94.80	\$ 94.80
12	A1.1	A1.1		Remove door	4	EA	0%	4	\$ -	\$ 60.00	\$ 240.00
13	A1.1	A1.1		Remove existing bath countertop	6	SF	0%	6	\$ -	\$ 3.12	\$ 19.06
14	A1.1	A1.1		Remove existing sliding door	1	EA	0%	1	\$ -	\$ 99.00	\$ 99.00
15	A1.1	A1.1		18" deep remove existing closet	18	LF	0%	18	\$ -	\$ 7.20	\$ 126.14
16	A1.1	A1.1		Remove existing bath floor	32	SF	0%	32	\$ -	\$ 1.50	\$ 47.40
17	A1.1	A1.1		Remove existing chimney (1'-3"x5'-0"x10'-0")	2	EA	0%	2	\$ -	\$ 120.00	\$ 240.00
18	A1.1	A1.1		Remove balcony	87	SF	0%	87	\$ -	\$ 3.72	\$ 322.41
19	A1.1	A1.1		Remove existing roof include all finish and framing	721	SF	0%	721	\$ -	\$ 3.30	\$ 2,380.10
20	A1.1	A1.1		Remove existing wall Finishes	317	SF	0%	317	\$ -	\$ 1.50	\$ 475.20
21	A1.1	A1.1		Remove exterior finish	2225	SF	0%	2225	\$ -	\$ 1.68	\$ 3,738.34
				<i>Sub total</i>							\$ 11,417.23
<b>DIVISION 03 - CONCRETE</b>											
			03 00 00								
			03 29 00	<b>REHABILITATION CONCRETE</b>							
22	S2 to S6	S2 to S6		5/8" dia anchor bolt 7" embedment @ 48" o.c W/ 3"X3"X0.229 Plate Washer	50	EA	0%	50	\$ 12.85	\$ 10.63	\$ 1,173.75
23	S2 to S6	S2 to S6		1/4" dia hilti shot pins @ 32" o.c Larr # 25646	35	EA	0%	35	\$ 8.20	\$ 7.23	\$ 539.88
				3/4" dia anchor rod @ 16" o.c 7" embed	47	EA	0%	47	\$ 11.20	\$ 8.50	\$ 925.90
			03 30 00	<b>CAST-IN-PLACE CONCRETE</b>							
25	S2 to S6	S2 to S6		(1'-0"x1'-0") Reinforcement Conc. Footing = (64'-0" L) - W/ #5 @ 12" O.C. #5 Cont	2.4	CY	10%	3	\$ 285.32	\$ 276.25	\$ 1,464.24
26	S2 to S6	S2 to S6		(1'-6"x3'-0") Reinforcement Conc. Footing = (26'-0" L) - W/ #4 (2) top & bottom	5.8	CY	10%	6	\$ 285.32	\$ 276.25	\$ 3,569.09
27	S2 to S6	S2 to S6		(1'-6"x1'-9") Reinforcement Conc. Grade Beam = (72'-0" L) - W/ #4 (2) top & bottom	7.0	CY	10%	8	\$ 285.32	\$ 276.25	\$ 4,324.09
28	S2 to S6	S2 to S6		(3'-0"x4'-0") Reinforcement Conc. Footing = (30'-0" L) - W/ #3/4 Cont	13.3	CY	10%	15	\$ 285.32	\$ 276.25	\$ 8,236.36
29	S2 to S6	S2 to S6		(0'-8"x3'-6") Reinforcement Conc. Stem Wall = (30'-0" L) - W/ #4 @ 16" o.c vert & #4 @ 24" o.c horiz	2.6	CY	10%	3	\$ 285.32	\$ 276.25	\$ 1,585.50
30	S2 to S6	S2 to S6		(0'-8"x3'-6") Reinforcement Conc. Stem Wall = (30'-0" L) - W/ #4 @ 16" o.c vert & #4 @ 24" o.c horiz	2.6	CY	10%	3	\$ 285.32	\$ 276.25	\$ 1,585.50
31	S2 to S6	S2 to S6		(1'-0"x13'-3") Reinforcement Conc. Retaining Wall = (65'-0" L) - W/ #4 @ 16" o.c vert & #4 @ 24" o.c horiz	31.9	CY	10%	35	\$ 285.32	\$ 276.25	\$ 19,704.35
				<b>Pad Footing</b>							
32	S2 to S6	S2 to S6		(2'-0"x2'-0"x2'-0") Reinforcement Conc. Pad Footing = (4-EA) - W/ #3-4 @ O.C.E.W	1.2	CY	10%	1	\$ 285.32	\$ 276.25	\$ 732.12
33	S2 to S6	S2 to S6		(2'-6"x2'-6"x2'-0") Reinforcement Conc. Pad Footing = (2-EA) - W/ #4-4 @ O.C.E.W	0.9	CY	10%	1	\$ 285.32	\$ 276.25	\$ 571.97
34	S2 to S6	S2 to S6		(3'-0"x3'-0"x3'-6") Reinforcement Conc. Pad Footing = (1-EA) - W/ #4-4 @ O.C.E.W	1.2	CY	10%	1	\$ 285.32	\$ 276.25	\$ 720.68
35	S2 to S6	S2 to S6		(2'-0"x2'-0"x3'-6") Reinforcement Conc. Pad Footing = (4-EA) - W/ #3-4 @ O.C.E.W	2.1	CY	10%	2	\$ 285.32	\$ 276.25	\$ 1,281.21
				<b>Slab</b>							
36	S2 to S6	S2 to S6		4" Concrete Slab on grade w/ - #4 @ 16" o.c - 10- Mill Polyethylene Vapor Barrier Membrane - 4" Crushed Rock - Compacted Sub Grade	1907.49	SF	10%	2098	\$ 4.85	\$ 1.98	\$ 14,339.37
37	S2 to S6	S2 to S6		21" Garrage Reinforcement Conc Slab	19	CY	10%	20	\$ 285.32	\$ 276.25	\$ 11,486.86
38	S2 to S6	S2 to S6		12" Garrage Reinforcement ConcSlab	11	CY	10%	12	\$ 285.32	\$ 276.25	\$ 6,563.92
39	S2 to S6	S2 to S6		Stair Reinforcement Conc	2	CY	10%	2	\$ 285.32	\$ 276.25	\$ 1,237.97
40	S2 to S6	S2 to S6		4" Driveway Reinforcement Conc	1	CY	10%	1	\$ 285.32	\$ 276.25	\$ 709.25
41	S2 to S6	S2 to S6		Thickenededge	1.7	CY	10%	2	\$ 285.32	\$ 276.25	\$ 1,031.38
				<i>Sub total</i>							\$ 81,783.38
<b>DIVISION 05 - METALS</b>											
			05 00 00								
			05 12 00	<b>STRUCTURAL STEEL FRAMING</b>							
42	A1 TO A6	A1 TO A6		HSS6X6X1/4 (9'-0"h)	684	LBS	10%	752	\$ 2.85	\$ 1.30	\$ 3,119.45
43	A1 TO A6	A1 TO A6		42" H Wought Iron Guard Rail	11.1	LF	10%	12	\$ 78.65	\$ 15.12	\$ 1,144.93
				<i>Sub total</i>							\$ 4,264.38
<b>DIVISION 06 - WOOD, PLASTICS &amp; COMPOSITES</b>											
			06 11 00	<b>WOOD FRAMING</b>							
44	A1 TO A6	A1 TO A6		4X6 Post (9'-0" Height)	16	EA	0%	16	\$ 40.50	\$ 28.02	\$ 1,096.38
45	A1 TO A6	A1 TO A6		6X4 Post (9'-0" Height)	7	EA	0%	7	\$ 40.50	\$ 28.02	\$ 479.67
46	A1 TO A6	A1 TO A6		6X6 Post (9'-0" Height)	6	EA	0%	6	\$ 46.80	\$ 30.07	\$ 461.22
47	A1 TO A6	A1 TO A6		4X4 Post (9'-0" Height)	4	EA	0%	4	\$ 34.65	\$ 26.04	\$ 242.76
48	A1 TO A6	A1 TO A6		4X6 Post (10'-0" Height)	9	EA	0%	9	\$ 45.32	\$ 28.02	\$ 660.10
49	A1 TO A6	A1 TO A6		6X6 Post (10'-0" Height)	18	EA	0%	18	\$ 52.32	\$ 29.45	\$ 1,471.86
50	A1 TO A6	A1 TO A6		4X6 King Post (10'-0" Height)	3	EA	0%	3	\$ 45.32	\$ 28.02	\$ 220.03
51	A1 TO A6	A1 TO A6		6X10 beam	52	LF	10%	57	\$ 5.20	\$ 1.86	\$ 404.38
52	A1 TO A6	A1 TO A6		6X4 header beam	38	LF	10%	42	\$ 3.85	\$ 1.74	\$ 233.56












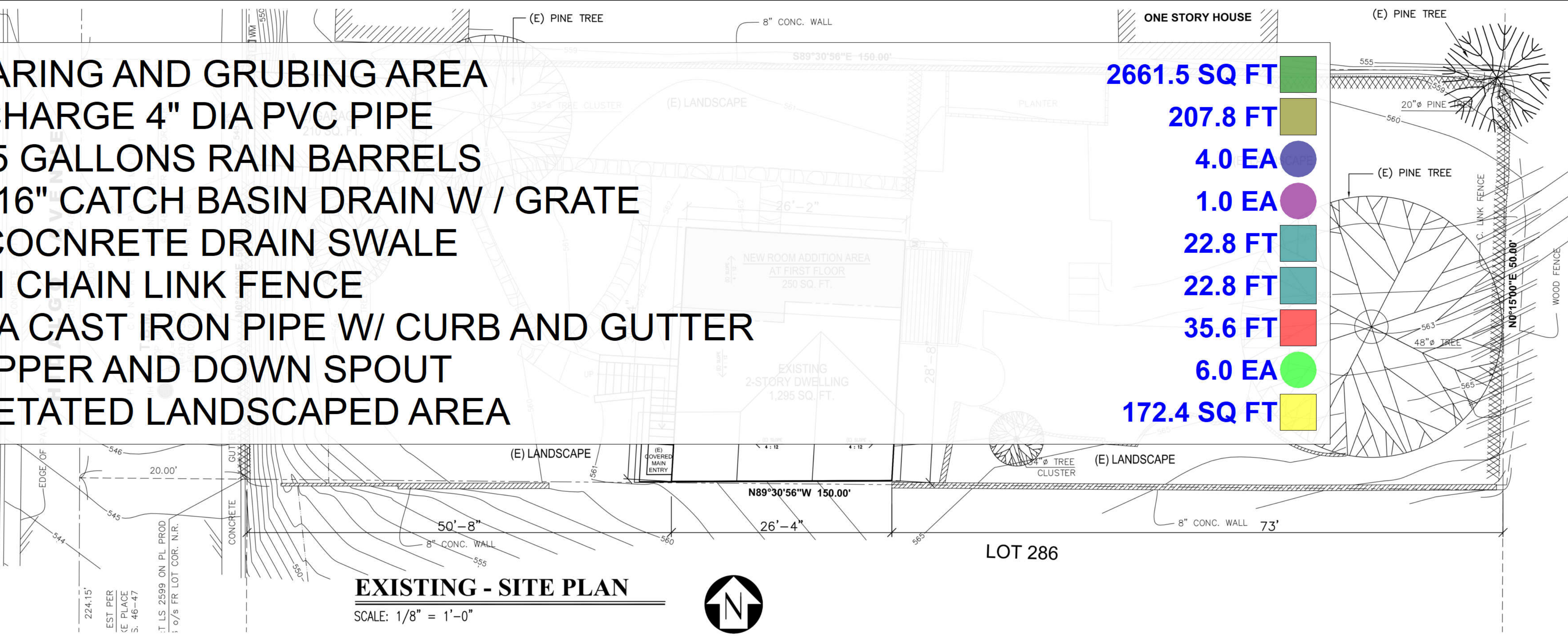
121	A2.0 to A5.0	A2.0 to A5.0		Standing Seam Metal Roofing Mfr For Roof Application Larr #25177 Esr #2048 (5:12)	654.16	SF	10%	720	\$ 6.32	\$ 1.82	\$ 5,857.35
			<b>07 70 00</b>	<b>ROOF AND WALL SPECIALTIES AND ACCESSORIES</b>							
122	A2.0 to A5.0	A2.0 to A5.0		2x12 Fascia Board	113.09	LF	10%	124	\$ 1.98	\$ 1.43	\$ 424.20
123	A2.0 to A5.0	A2.0 to A5.0		12" W Soffit	113.09	LF	10%	124	\$ 2.98	\$ 1.69	\$ 580.94
124	A2.0 to A5.0	A2.0 to A5.0		Roof drain	1	EA	0%	1	\$ 120.20	\$ 29.77	\$ 149.97
125	A2.0 to A5.0	A2.0 to A5.0		Racke Board	60.35	LF	10%	66	\$ 3.20	\$ 1.63	\$ 320.31
126	A2.0 to A5.0	A2.0 to A5.0		Downspout	27.52	LF	10%	30	\$ 3.98	\$ 2.93	\$ 209.03
127	A2.0 to A5.0	A2.0 to A5.0		Scupper	1	EA	0%	1	\$ 165.20	\$ 40.30	\$ 205.50
128	A2.0 to A5.0	A2.0 to A5.0		Fiber cant or saddle	25.92	LF	10%	29	\$ 4.25	\$ 1.50	\$ 163.80
129	A2.0 to A5.0	A2.0 to A5.0		Overflow drain	1	EA	0%	1	\$ 120.20	\$ 44.53	\$ 164.73
			<b>07 92 00</b>	<b>JOINT SEALANTS</b>							
130	A2.0 to A5.0	A2.0 to A5.0		Fiber Cant Or Saddle Sealed And Watertight	119.65	LF	10%	132	\$ 3.52	\$ 1.63	\$ 677.16
				<b>Sub total</b>							<b>\$ 46,432.33</b>
				<b>DIVISION 08 - OPENINGS</b>							
			<b>08 11 16</b>	<b>ALUMINUM DOORS AND FRAMES</b>							
131	A2.0 to A5.0	A2.0 to A5.0		(9'-0"x7'-0") Viny Double Glazing Tempered Sliding Action W /Door Frame - 3 Panel glass door	1	EA	0%	1	\$ 3,276.00	\$ 329.84	\$ 3,605.84
132	A2.0 to A5.0	A2.0 to A5.0		(11'-0"x7'-0") Viny Double Glazing Tempered Sliding Action W /Door Frame - 4 Panel glass door	1	EA	0%	1	\$ 4,004.00	\$ 446.40	\$ 4,450.40
			<b>08 14 00</b>	<b>WOOD DOORS</b>							
133	A2.0 to A5.0	A2.0 to A5.0		(3'-0"x7'-0") Solid Core Wood Double Door Hinged Action W /Door Frame	1	EA	0%	1	\$ 852.00	\$ 170.50	\$ 1,022.50
134	A2.0 to A5.0	A2.0 to A5.0		(2'-10"x7'-0") Solid Core Wood Door Hinged Action W /Door Frame	1	EA	0%	1	\$ 825.32	\$ 164.30	\$ 989.62
135	A2.0 to A5.0	A2.0 to A5.0		(2'-8"x6'-8") Hollow Core Wood Door Hinged Action W /Door Frame	2	EA	0%	2	\$ 785.62	\$ 145.70	\$ 1,862.64
136	A2.0 to A5.0	A2.0 to A5.0		(2'-8"x7'-0") Solid Core Wood Door Hinged Action W /Door Frame	1	EA	0%	1	\$ 812.20	\$ 148.80	\$ 961.00
137	A2.0 to A5.0	A2.0 to A5.0		(2'-8"x7'-0") Hallow Core Wood Pocket Door Hinged Action W /Door Frame	1	EA	0%	1	\$ 812.20	\$ 148.80	\$ 961.00
138	A2.0 to A5.0	A2.0 to A5.0		(3'-4"x6'-8") Solid Core Wood Door Hinged Action W /Door Frame	1	EA	0%	1	\$ 985.00	\$ 166.16	\$ 1,151.16
139	A2.0 to A5.0	A2.0 to A5.0		(2'-6"x7'-0") Solid Core Wood Door Hinged Action W /Door Frame	1	EA	0%	1	\$ 788.00	\$ 155.00	\$ 943.00
			<b>08 51 13</b>	<b>ALUMINUM WINDOWS</b>							
140	A2.0 to A5.0	A2.0 to A5.0		(8'-0"x6'-0") Sliding Double Glazing Window	1	EA	0%	1	\$ 1,680.00	\$ 217.00	\$ 1,897.00
141	A2.0 to A5.0	A2.0 to A5.0		(12'-0"x6'-0") Sliding Double Glazing Window	1	EA	0%	1	\$ 3,024.00	\$ 350.30	\$ 3,374.30
142	A2.0 to A5.0	A2.0 to A5.0		(2'-0"x2'-0") Sliding Double Glazing-tempered Glass Window	1	EA	0%	1	\$ 252.00	\$ 89.90	\$ 341.90
143	A2.0 to A5.0	A2.0 to A5.0		(7'-0"x6'-6") Fixed Double Glazing Window	1	EA	0%	1	\$ 1,911.00	\$ 280.24	\$ 2,191.24
144	A2.0 to A5.0	A2.0 to A5.0		(6'-0"x4'-0") Single Hinge Double Glazing Window	1	EA	0%	1	\$ 1,008.00	\$ 198.40	\$ 1,206.40
145	A2.0 to A5.0	A2.0 to A5.0		(6'-0"x7'-6") Sliding Double Glazing Window	1	EA	0%	1	\$ 1,890.00	\$ 280.24	\$ 2,170.24
146	A2.0 to A5.0	A2.0 to A5.0		(10'-0"x7'-6") Sliding Double Glazing 4- Panel Window	1	EA	0%	1	\$ 3,150.00	\$ 465.00	\$ 3,615.00
147	A2.0 to A5.0	A2.0 to A5.0		(4'-0"x2'-0") Sliding Double Glazing -tempered Glass Window	1	EA	0%	1	\$ 336.00	\$ 89.90	\$ 425.90
148	A2.0 to A5.0	A2.0 to A5.0		(4'-0"x2'-0") Sliding Double Glazing -tempered Glass Window	1	EA	0%	1	\$ 336.00	\$ 89.90	\$ 425.90
149	A2.0 to A5.0	A2.0 to A5.0		(4'-0"x6'-0") Fixed Double Glazing Window	1	EA	0%	1	\$ 1,008.00	\$ 124.00	\$ 1,132.00
150	A2.0 to A5.0	A2.0 to A5.0		(7'-0"x5'-0") Fixed Double Glazing Window	1	EA	0%	1	\$ 1,470.00	\$ 170.50	\$ 1,640.50
151	A2.0 to A5.0	A2.0 to A5.0		(3'-0"x3'-0") Sliding Double Glazing - Tempered Glass Window	1	EA	0%	1	\$ 378.00	\$ 93.00	\$ 471.00
152	A2.0 to A5.0	A2.0 to A5.0		(9'-0"x2'-0") Fixed Double Glazing Window	1	EA	0%	1	\$ 756.00	\$ 114.70	\$ 870.70
153	A2.0 to A5.0	A2.0 to A5.0		(7'-6"x2'-0") Fixed Double Glazing Window	1	EA	0%	1	\$ 630.00	\$ 104.16	\$ 734.16
154	A2.0 to A5.0	A2.0 to A5.0		(6'-0"x5'-0") Sliding Double Glazing Window	1	EA	0%	1	\$ 1,260.00	\$ 228.16	\$ 1,488.16
155	A2.0 to A5.0	A2.0 to A5.0		(4'-0"x5'-0") Sliding Double Glazing Window	1	EA	0%	1	\$ 840.00	\$ 176.70	\$ 1,016.70
			<b>08 71 00</b>	<b>DOOR HARDWARE</b>							
156	A2.0 to A5.0	A2.0 to A5.0		Door Hardware By Mrf	10	EA	0%	10	\$ 398.65	\$ 93.00	\$ 4,916.50
				<b>Sub total</b>							<b>\$ 43,864.76</b>
				<b>DIVISION 09 - FINISHES</b>							
			<b>09 21 16</b>	<b>GYPSUM BOARD ASSEMBLIES</b>							
				<b>Interior Wall (9'-0"H)</b>	<b>62</b>						
157				R-15 Insulation	558	SF	10%	614	\$ 0.98	\$ 0.58	\$ 957.53
158				(1) Layer 5/8" Gypsum Board On Both Side	1116	SF	10%	1228	\$ 0.85	\$ 1.04	\$ 2,325.07
159				2X6 Wood Stud @ 16" O.c -W/ Top & Bottom Plate (EA 47, 10'-0" H)	62	LF	10%	68	\$ 1.75	\$ 1.04	\$ 190.55
160				Acoustical Sealant	248	LF	10%	273	\$ 0.25	\$ 0.87	\$ 305.54
				<b>Interior Wall (10'-0"H)</b>	<b>57.38</b>						
161				R-15 Insulation	574	SF	10%	631	\$ 0.98	\$ 0.58	\$ 984.64
162				(1) Layer 5/8" Gypsum Board On one Side	574	SF	10%	631	\$ 0.85	\$ 1.04	\$ 1,195.45
163				(1) Layer 5/8" M.R Gypsum Board On one Side	574	SF	10%	631	\$ 0.95	\$ 1.04	\$ 1,258.57
164				2X6 Wood Stud @ 16" O.c -W/ Top & Bottom Plate (EA 44, 10'-0" H)	57	LF	10%	63	\$ 1.75	\$ 1.04	\$ 176.35
165				Acoustical Sealant	230	LF	10%	252	\$ 0.25	\$ 0.87	\$ 282.77
				<b>Interior Wall (9'-0"H)</b>	<b>19.8</b>						
166				R-15 Insulation	178	SF	10%	196	\$ 0.98	\$ 0.58	\$ 305.79
167				(1) Layer 5/8" M.R Gypsum Board On one Side	178	SF	10%	196	\$ 0.85	\$ 1.04	\$ 371.26
168				(1) Layer 5/8" Gypsum Board On one Side	178	SF	10%	196	\$ 0.95	\$ 1.04	\$ 390.86
169				2X6 Wood Stud @ 16" O.c -W/ Top & Bottom Plate (EA 15, 10'-0" H)	20	LF	10%	22	\$ 1.75	\$ 1.04	\$ 60.85
170				Acoustical Sealant	79	LF	10%	87	\$ 0.25	\$ 0.87	\$ 97.57
				<b>Interior Wall (10'-0"H)</b>	<b>81.01</b>						
171				R-15 Insulation	729	SF	10%	802	\$ 0.98	\$ 0.58	\$ 1,251.12
172				(1) Layer 5/8" Gypsum Board On Both Side	1458	SF	10%	1604	\$ 0.85	\$ 1.04	\$ 3,037.97
173				2X6 Wood Stud @ 16" O.c -W/ Top & Bottom Plate (EA 61, 10'-0" H)	81	LF	10%	89	\$ 1.75	\$ 1.04	\$ 248.98
174				Acoustical Sealant	324	LF	10%	356	\$ 0.25	\$ 0.87	\$ 399.22
				<b>Interior Knee Wall (3'-0"H)</b>	<b>12.34</b>						
175				R-15 Insulation	37	SF	10%	41	\$ 0.98	\$ 0.58	\$ 63.53
176				(1) Layer 5/8" Gypsum Board On Both Side	74	SF	10%	81	\$ 0.85	\$ 1.04	\$ 154.25
177				2X6 Wood Stud @ 16" O.c -W/ Top & Bottom Plate (EA 61, 4'-0" H)	12	LF	10%	14	\$ 1.75	\$ 1.04	\$ 37.93
178				Acoustical Sealant	49	LF	10%	54	\$ 0.25	\$ 0.87	\$ 60.81
				<b>Exterior Wall (9'-0"H)</b>	<b>94.85</b>						
179				R-15 Insulation	854	SF	10%	939	\$ 0.98	\$ 0.06	\$ 974.70
180				(1) Layer 1/2" Plywood Sheathing On One Side	854	SF	10%	939	\$ 1.20	\$ 1.16	\$ 2,216.08
181				(1) Layer 5/8" Gypsum Board On One Side	854	SF	10%	939	\$ 0.85	\$ 1.04	\$ 1,778.49
182	A2.0 to A5.0	A2.0 to A5.0		2X6 Wood Stud @ 16" O.c -W/ Top & Bottom Plate (EA 72, 10'-0" H)	95	LF	10%	104	\$ 1.75	\$ 1.04	\$ 291.51
183				Acoustical Sealant	190	LF	10%	209	\$ 0.25	\$ 0.87	\$ 233.71
				<b>Exterior Wall (10'-0"H)</b>	<b>72.17</b>						
184				R-15 Insulation	722	SF	10%	794	\$ 0.98	\$ 0.06	\$ 824.04
185				(1) Layer 1/2" Plywood Sheathing On One Side	722	SF	10%	794	\$ 1.20	\$ 1.16	\$ 1,873.53
186				(1) Layer 5/8" Gypsum Board On One Side	722	SF	10%	794	\$ 0.85	\$ 1.04	\$ 1,503.59

187			2X6 Wood Stud @ 16" O.c -W/ Top & Bottom Plate (EA 72, 10'-0" H)	72	LF	10%	79	\$ 1.75	\$ 1.04	\$ 221.81
188			Acoustical Sealant	144	LF	10%	159	\$ 0.25	\$ 0.87	\$ 177.83
			<b>Exterior Wall (10'-0"H)</b>	<b>34.43</b>						
189			R-15 Insulation	344	SF	10%	379	\$ 0.98	\$ 0.06	\$ 393.12
190			(1) Layer 1/2" Plywood Sheathing On One Side	344	SF	10%	379	\$ 1.20	\$ 1.16	\$ 893.80
191			(1) Layer 5/8" M.R Gypsum Board On One Side	344	SF	10%	379	\$ 0.95	\$ 1.04	\$ 755.19
192			2X6 Wood Stud @ 16" O.c -W/ Top & Bottom Plate (EA 26, 10'-0" H)	34	LF	10%	38	\$ 1.75	\$ 1.04	\$ 105.82
193			Acoustical Sealant	69	LF	10%	76	\$ 0.25	\$ 0.87	\$ 84.84
			<b>Exterior Parapet Wall (3'-3"H)</b>	<b>25.92</b>						
194			R-15 Insulation	84	SF	10%	93	\$ 0.98	\$ 0.06	\$ 96.19
195			(1) Layer 1/2" Plywood Sheathing On Both Side	168	SF	10%	185	\$ 1.20	\$ 1.16	\$ 437.37
196			2X4 Wood Stud @ 16" O.c -W/ Top & Bottom Plate (EA 20, 4'-0" H)	26	LF	10%	29	\$ 1.52	\$ 1.04	\$ 73.10
			<b>Exterior Parapet Wall (3'-0"H)</b>	<b>106.6</b>						
197			R-15 Insulation	320	SF	10%	352	\$ 0.98	\$ 0.06	\$ 365.15
198			(1) Layer 1/2" Plywood Sheathing On Both Side	640	SF	10%	704	\$ 1.20	\$ 1.16	\$ 1,660.40
199			2X4 Wood Stud @ 16" O.c -W/ Top & Bottom Plate (EA 20, 4'-0" H)	107	LF	10%	117	\$ 1.52	\$ 1.04	\$ 300.65
			<b>Exterior Gable Wall (3'-6"H)</b>	<b>51.4</b>						
200			(1) Layer 1/2" Plywood Sheathing On One Side	154	SF	10%	170	\$ 1.20	\$ 1.16	\$ 400.30
201			2X4 Wood Stud @ 16" O.c -W/ Top & Bottom Plate (EA 39, 4'-0" H)	51	LF	10%	57	\$ 1.52	\$ 1.04	\$ 144.97
			<b>Ceiling</b>							
202			5/8" Gyp Board Ceiling	2448.54	SF	10%	2693	\$ 0.85	\$ 1.16	\$ 5,413.72
203			5/8" M.R Gyp Board Ceiling	317.95	SF	10%	350	\$ 0.95	\$ 1.16	\$ 737.96
204			<b>Taping (180' L)</b>	<b>15</b>	<b>ROLLS</b>	<b>10%</b>	<b>17</b>	<b>\$ 20.00</b>	<b>\$ 12.00</b>	<b>\$ 540.10</b>
205			<b>Mudding Compound (12 LBS)</b>	<b>39</b>	<b>BUCKETS</b>	<b>10%</b>	<b>43</b>	<b>\$ 9.00</b>	<b>\$ 51.00</b>	<b>\$ 2,576.28</b>
206			<b>Screws (244 EA)</b>	<b>51</b>	<b>BOXES</b>	<b>10%</b>	<b>56</b>	<b>\$ 50.00</b>	<b>\$ -</b>	<b>\$ 2,801.49</b>
			<b>09 24 23 CEMENT STUCCO</b>							
207	A2.0 to A5.0	A2.0 to A5.0	7/8" Stucco La Habra W/ - Metal Lath <b>Color Selected By Owner</b>	3635	SF	10%	3998	\$ 6.25	\$ 6.20	\$ 49,780.23
			<b>Vaulted Ceiling</b>							
208	A2.0 to A5.0	A2.0 to A5.0	Vaulted Ceiling	405	SF	10%	445	\$ 2.85	\$ 1.86	\$ 2,096.80
			<b>093013 CERAMIC TILING</b>							
209	A2.0 to A5.0	A2.0 to A5.0	Ceramic Tile Flooring	321	SF	10%	353	\$ 5.37	\$ 5.53	\$ 3,842.26
210	A2.0 to A5.0	A2.0 to A5.0	Ceramic Tile Wall Tile (7'-0" H)	119	LF	10%	131	\$ 5.37	\$ 6.63	\$ 1,567.24
			<b>09 68 13 TILE CARPETING</b>							
211	A2.0 to A5.0	A2.0 to A5.0	Carpet Flooring	896	SF	10%	985	\$ 3.20	\$ 2.60	\$ 5,714.76
212	A2.0 to A5.0	A2.0 to A5.0	4" Cove Base	254	LF	10%	279	\$ 2.98	\$ 1.63	\$ 1,284.36
213	A2.0 to A5.0	A2.0 to A5.0	Patio Flooring	1425	SF	10%	1567	\$ 6.32	\$ 4.42	\$ 16,829.52
			<b>09 91 00 PAINTING</b>							
214	A2.0 to A5.0	A2.0 to A5.0	Wall Paint	5118	SF	10%	5629	\$ 0.85	\$ 0.87	\$ 9,682.31
215	A2.0 to A5.0	A2.0 to A5.0	Existing Wall Paint	1689	SF	10%	1858	\$ 0.85	\$ 0.87	\$ 3,195.78
216	A2.0 to A5.0	A2.0 to A5.0	Single Leaf Door Paint	8	EA	0%	8	\$ 30.00	\$ 74.40	\$ 835.20
217	A2.0 to A5.0	A2.0 to A5.0	Double Leaf Door Paint	2	EA	0%	2	\$ 48.00	\$ 122.76	\$ 341.52
218	A2.0 to A5.0	A2.0 to A5.0	Gyp Board Ceiling Paint	2766	SF	10%	3043	\$ 0.85	\$ 1.04	\$ 5,762.68
219	A2.0 to A5.0	A2.0 to A5.0	Soffit Paint	113	SF	10%	124	\$ 0.85	\$ 1.04	\$ 235.42
220	A2.0 to A5.0	A2.0 to A5.0	Door Trim Paint	310	LF	10%	341	\$ 0.58	\$ 0.81	\$ 474.67
221	A2.0 to A5.0	A2.0 to A5.0	Window Trim Paint	576	LF	10%	634	\$ 0.58	\$ 0.81	\$ 881.97
			<b>Sub total</b>							<b>\$144,557.09</b>
			<b>DIVISION 10 - SPECIALITIES</b>							
			<b>10 21 13 TOILET COMPARTMENTS</b>							
222	A2.0 to A5.0	A2.0 to A5.0	(5'-0"X7'-0") Tempreded Glass Shower Enclosure	1	EA	0%	1	\$ 1,985.00	\$ 248.00	\$ 2,233.00
			<b>10 28 13 TOILET ACCESSORIES</b>							
223	A2.0 to A5.0	A2.0 to A5.0	18" Vertical Grab Bar	3	EA	0%	3	\$ 29.65	\$ 18.60	\$ 144.75
224	A2.0 to A5.0	A2.0 to A5.0	36" Grab Bar	3	EA	0%	3	\$ 41.20	\$ 21.82	\$ 189.07
225	A2.0 to A5.0	A2.0 to A5.0	42" Grab Bar	3	EA	0%	3	\$ 49.65	\$ 26.04	\$ 227.07
226	A2.0 to A5.0	A2.0 to A5.0	Coat Hook	3	EA	0%	3	\$ 9.32	\$ 7.44	\$ 50.28
227	A2.0 to A5.0	A2.0 to A5.0	Hand Dryer	3	EA	0%	3	\$ 210.20	\$ 52.82	\$ 789.07
228	A2.0 to A5.0	A2.0 to A5.0	30"x48" Mirror	4	EA	0%	4	\$ 285.00	\$ 46.62	\$ 1,326.50
229	A2.0 to A5.0	A2.0 to A5.0	Tissue Disposal	3	EA	0%	3	\$ 38.65	\$ 21.82	\$ 181.42
230	A2.0 to A5.0	A2.0 to A5.0	Soap Dispenser	3	EA	0%	3	\$ 45.32	\$ 24.80	\$ 210.36
231	A2.0 to A5.0	A2.0 to A5.0	Toilet Paper Dispenser	3	EA	0%	3	\$ 62.00	\$ 28.02	\$ 270.07
232	A2.0 to A5.0	A2.0 to A5.0	Toilet Seat Cover Dispenser	3	EA	0%	3	\$ 75.00	\$ 30.07	\$ 315.21
233	A2.0 to A5.0	A2.0 to A5.0	Towel Dispenser	3	EA	0%	3	\$ 48.65	\$ 26.04	\$ 224.07
234	A2.0 to A5.0	A2.0 to A5.0	Curtain w/ Rod	12	LF	0%	12	\$ 21.20	\$ 7.44	\$ 343.68
			<b>Sub total</b>							<b>\$ 6,504.55</b>
			<b>DIVISION 11 - EQUIPMENTS</b>							
			<b>11 31 00 RESIDENTIAL APPLIANCES</b>							
235	A2.0 to A5.0	A2.0 to A5.0	Compartment double Sink	1	EA	0%	1	\$ 985.62	\$ 323.00	\$ 1,308.62
236	A2.0 to A5.0	A2.0 to A5.0	Cooking Range w/ Hood	1	EA	0%	1	\$ 1,358.00	\$ 212.50	\$ 1,570.50
			Washer /dryer	1	EA	0%	1	\$ 1,585.00	\$ 310.25	\$ 1,895.25
			<b>Sub total</b>							<b>\$ 4,774.37</b>
			<b>DIVISION 12 - FURNISHING</b>							
			<b>12 30 00 CASEWORK</b>							
238	A2.0 to A5.0	A2.0 to A5.0	24" Deep Vanity Cabient	19	LF	10%	21	\$ 352.65	\$ 35.65	\$ 8,282.05
239	A2.0 to A5.0	A2.0 to A5.0	24" Deep Walk In Closet	48	LF	10%	53	\$ 432.20	\$ 38.75	\$ 24,840.26
240	A2.0 to A5.0	A2.0 to A5.0	24" Deep Room Cabient	9	LF	10%	9	\$ 352.50	\$ 35.65	\$ 3,646.28
241	A2.0 to A5.0	A2.0 to A5.0	12" Deep Bath Cabient	7	LF	10%	8	\$ 275.98	\$ 26.35	\$ 2,334.59
242	A2.0 to A5.0	A2.0 to A5.0	20" Deep Kitchen Cabient	6	LF	10%	6	\$ 326.32	\$ 32.24	\$ 2,240.28
243	A2.0 to A5.0	A2.0 to A5.0	24" Deep Counter Top	6	LF	10%	7	\$ 168.62	\$ 30.88	\$ 1,424.20
244	A2.0 to A5.0	A2.0 to A5.0	24" Deep Base Cabient	6	LF	10%	7	\$ 352.62	\$ 35.65	\$ 2,771.86
245	A2.0 to A5.0	A2.0 to A5.0	12" Deep Upper Cabient	6	LF	10%	7	\$ 275.98	\$ 26.35	\$ 2,158.33
246	A2.0 to A5.0	A2.0 to A5.0	30" Deep Cabient	10	LF	10%	11	\$ 412.25	\$ 38.75	\$ 4,876.66
247	A2.0 to A5.0	A2.0 to A5.0	24" Deep Pantry Cabient	8	LF	10%	8	\$ 352.65	\$ 35.65	\$ 3,254.73
			<b>12 36 00 COUNTERTOPS</b>							
248	A2.0 to A5.0	A2.0 to A5.0	24" Deep Vanity Countertop	19	LF	10%	21	\$ 168.62	\$ 30.88	\$ 4,255.05
249	A2.0 to A5.0	A2.0 to A5.0	30" Deep Countertop	10	LF	10%	11	\$ 185.20	\$ 32.55	\$ 2,354.53
			<b>Sub total</b>							<b>\$ 62,438.83</b>
			<b>DIVISION 21 - FIRE SUPPRESSION</b>							
			<b>Allowance</b>							
250	A2.0 to A5.0	A2.0 to A5.0	Allowance for Fire Suppression System	3302.64	SF	10%	3633	\$ -	\$ -	\$ 20,476.37

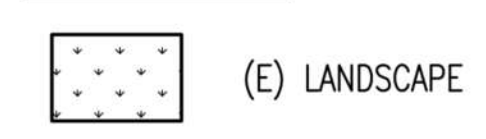
<b>Sub total</b>											<b>\$ 20,476.37</b>
<b>DIVISION 22 - PLUMBING</b>											
<b>Fixtures</b>											
251	A2.0 to A5.0	A2.0 to A5.0	Water Closet	3	EA	0%	3	\$ 685.62	\$ 212.50	\$ 2,694.36	
252	A2.0 to A5.0	A2.0 to A5.0	Lavatory	4	EA	0%	4	\$ 481.65	\$ 151.30	\$ 2,531.80	
253	A2.0 to A5.0	A2.0 to A5.0	Bath Tub	2	EA	0%	2	\$ 1,325.00	\$ 340.00	\$ 3,330.00	
254	A2.0 to A5.0	A2.0 to A5.0	Clean Out	9	EA	0%	9	\$ 71.20	\$ 52.70	\$ 1,115.10	
255	A2.0 to A5.0	A2.0 to A5.0	Shower Pan	30	SF	10%	33	\$ 25.62	\$ 10.20	\$ 1,182.06	
<b>Allowance</b>											
256	A2.0 to A5.0	A2.0 to A5.0	Allowance for Piping Fittings & Insulation etc.	3302.64	SF	10%	3633	\$ -	\$ -	\$ 31,870.48	
<b>Sub total</b>											<b>\$ 42,723.80</b>
<b>DIVISION 23 - HEATING VENTILATION &amp; AIR CONDITIONING</b>											
<b>Allowance</b>											
257	A2.0 to A5.0	A2.0 to A5.0	Allowance for Duct Fittings & Insulation	3302.64	SF	10%	3633	\$ -	\$ -	\$ 43,594.98	
<b>Sub total</b>											<b>\$ 43,594.98</b>
<b>DIVISION 26 - ELECTRICAL</b>											
<b>Power Items</b>											
258	A2.0 to A5.0	A2.0 to A5.0	Exhaust Fan	3	EA	0%	3	\$ 158.25	\$ 142.50	\$ 902.25	
259	A2.0 to A5.0	A2.0 to A5.0	Carbon Monoxide	3	EA	0%	3	\$ 58.65	\$ 46.08	\$ 314.18	
260	A2.0 to A5.0	A2.0 to A5.0	Smoke Detector	2	EA	0%	2	\$ 55.62	\$ 46.08	\$ 203.39	
<b>Lighting</b>											
261	A2.0 to A5.0	A2.0 to A5.0	Allowance for Lighting	3302.64	SF	10%	3633	\$ -	\$ -	\$ 8,322.65	
<b>Allowance</b>											
262	A2.0 to A5.0	A2.0 to A5.0	Allowance for Wiring & Conduiting	3302.64	SF	10%	3633	\$ -	\$ -	\$ 17,168.15	
<b>Sub total</b>											<b>\$ 26,910.62</b>
<b>DIVISION 31 - EARTHWORK</b>											
<b>31 10 00 SITE CLEARING</b>											
263	A2.0 to A5.0	A2.0 to A5.0	Land Clearing & Grubbing	2661.45	SF	10%	2928	\$ -	\$ 0.75	\$ 2,195.70	
<b>31 20 00 EARTH MOVING</b>											
264	A2.0 to A5.0	A2.0 to A5.0	Soil to be Exported	238	CY	10%	262	\$ -	\$ 7.20	\$ 1,884.96	
<b>31 23 00 EXCAVATION AND FILL</b>											
265	A2.0 to A5.0	A2.0 to A5.0	Excavation	105	CY	10%	116	\$ -	\$ 9.85	\$ 1,137.68	
266	A2.0 to A5.0	A2.0 to A5.0	Backfill	70	CY	10%	77	\$ -	\$ 11.25	\$ 866.25	
267	A2.0 to A5.0	A2.0 to A5.0	Cut	235	CY	10%	259	\$ -	\$ 7.25	\$ 1,874.13	
268	A2.0 to A5.0	A2.0 to A5.0	Fill	32	CY	10%	35	\$ -	\$ 11.25	\$ 396.00	
<b>Sub total</b>											<b>\$ 8,354.71</b>
<b>DIVISION 32 - EXTERIOR IMPROVEMENTS</b>											
<b>32 11 00 BASE COURSES</b>											
269	A2.0 to A5.0	A2.0 to A5.0	Gravel	2	CY	10%	3	\$ 48.52	\$ 52.20	\$ 266.72	
<b>32 16 13 CURBS AND GUTTERS</b>											
270	A2.0 to A5.0	A2.0 to A5.0	3" Dia Cast Iron Pipe W/ Curb And Gutter	35.6	LF	10%	39	\$ 108.65	\$ 21.65	\$ 5,102.55	
<b>32 16 23 SIDEWALKS</b>											
271	A2.0 to A5.0	A2.0 to A5.0	16"X16" Catch Basin Drain W / Grate	1	EA	0%	1	\$ 385.20	\$ 75.00	\$ 460.20	
272	A2.0 to A5.0	A2.0 to A5.0	18" Cocnrete Drain Swale	22.82	LF	10%	25	\$ 21.52	\$ 6.32	\$ 698.84	
<b>32 31 00 FENCES AND GATES</b>											
273	A2.0 to A5.0	A2.0 to A5.0	48" H Chain Link Fence	22.82	LF	10%	25	\$ 62.32	\$ 12.20	\$ 1,870.60	
<b>32 93 00 PLANTS</b>											
274	A2.0 to A5.0	A2.0 to A5.0	Vegetated Landscaped Area	172.42	SF	10%	190	\$ 6.32	\$ 1.98	\$ 1,574.19	
<b>Sub total</b>											<b>\$ 9,973.10</b>
<b>DIVISION 33 - UTILITIES</b>											
<b>33 10 00 WATER UTILITIES</b>											
275			4" Dia Preforated Drain Pipe	65	LF	10%	72	\$ 9.98	\$ 4.85	\$ 1,060.35	
276			Discharge 4" Dia Pvc Pipe	207.79	LF	10%	229	\$ 9.98	\$ 4.85	\$ 3,389.68	
277			4-265 Gallons Rain Barrels	4	EA	0%	4	\$ 1,009.65	\$ 325.00	\$ 5,338.60	
<b>Sub total</b>											<b>\$ 9,788.62</b>
<b>BASE BID</b>											<b>\$701,522.40</b>
<b>OVERHEADS &amp; PROFITS</b>											<b>20%</b>
<b>TOTAL BID</b>											<b>\$841,826.88</b>
<b>General Exclusions:</b> Any kind of controlled inspection, contaminated material, architect and engineering fees, security, building charges, sign off, asbestos removal, protection of adjoining building (if any), any work not mentioned above.											
<b>General Notes:</b> The prices used while preparing the estimate were taken from RSMMeans online i.e. the standard pricing & the company is not responsible for any kind of variations in the prices. So, it is preferred to review the prices.											

-  CLEARING AND GRUBING AREA
-  DISCHARGE 4" DIA PVC PIPE
-  4-265 GALLONS RAIN BARRELS
-  16"X16" CATCH BASIN DRAIN W / GRATE
-  18" COCONRETE DRAIN SWALE
-  48" H CHAIN LINK FENCE
-  3" DIA CAST IRON PIPE W/ CURB AND GUTTER
-  SCUPPER AND DOWN SPOUT
-  VEGETATED LANDSCAPED AREA

- 2661.5 SQ FT 
- 207.8 FT 
- 4.0 EA 
- 1.0 EA 
- 22.8 FT 
- 22.8 FT 
- 35.6 FT 
- 6.0 EA 
- 172.4 SQ FT 





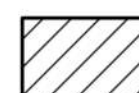


**LEGEND:**



**REFERENCE NOTES:**

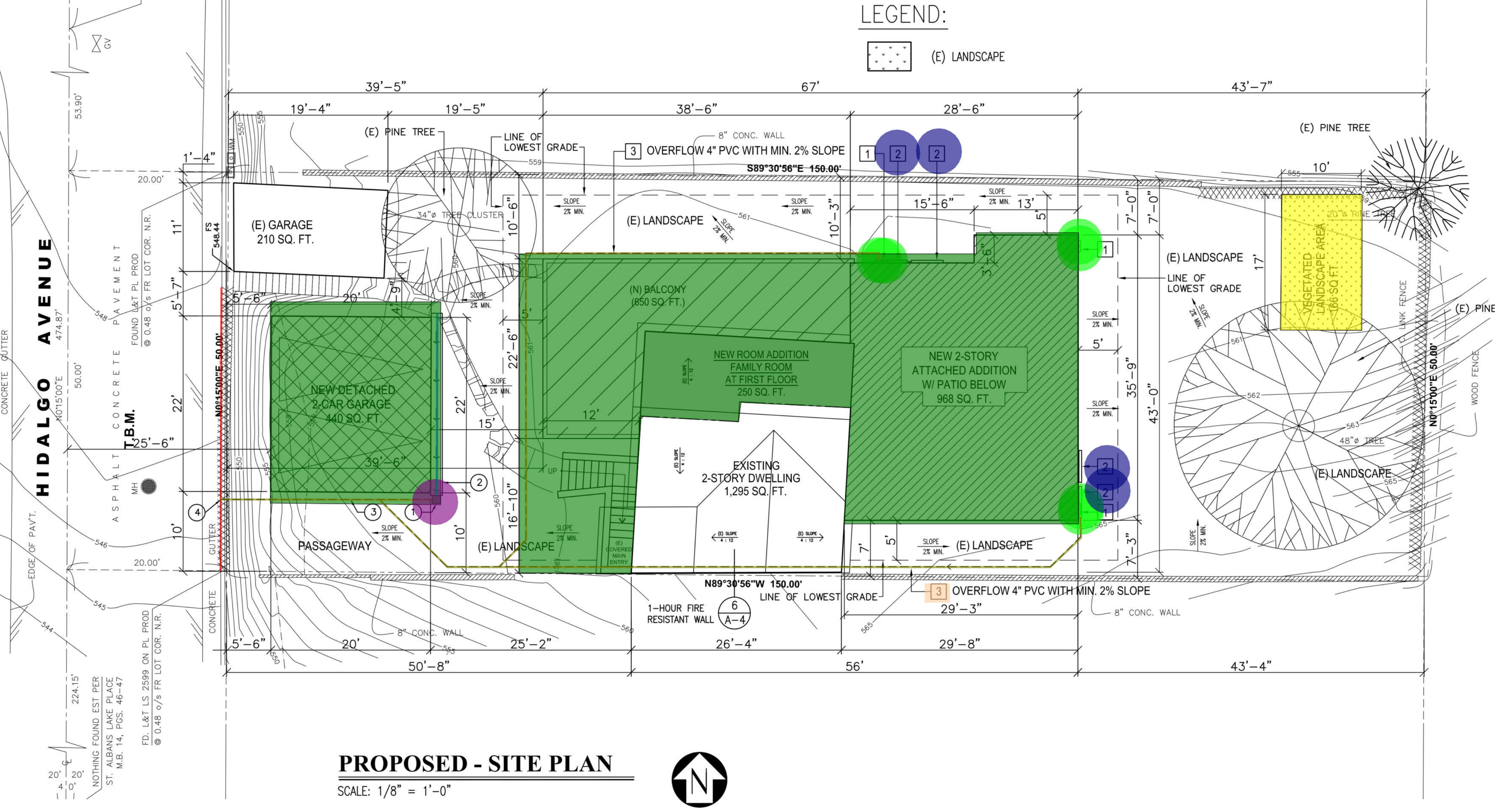
- 1 SCUPPER AND DOWN SPOUT
- 2 4- 265 GALLONS RAIN BARRELS
- 3 OVERFLOW 4" PVC WITH MIN. 2% SLOPE

**LEGEND:**

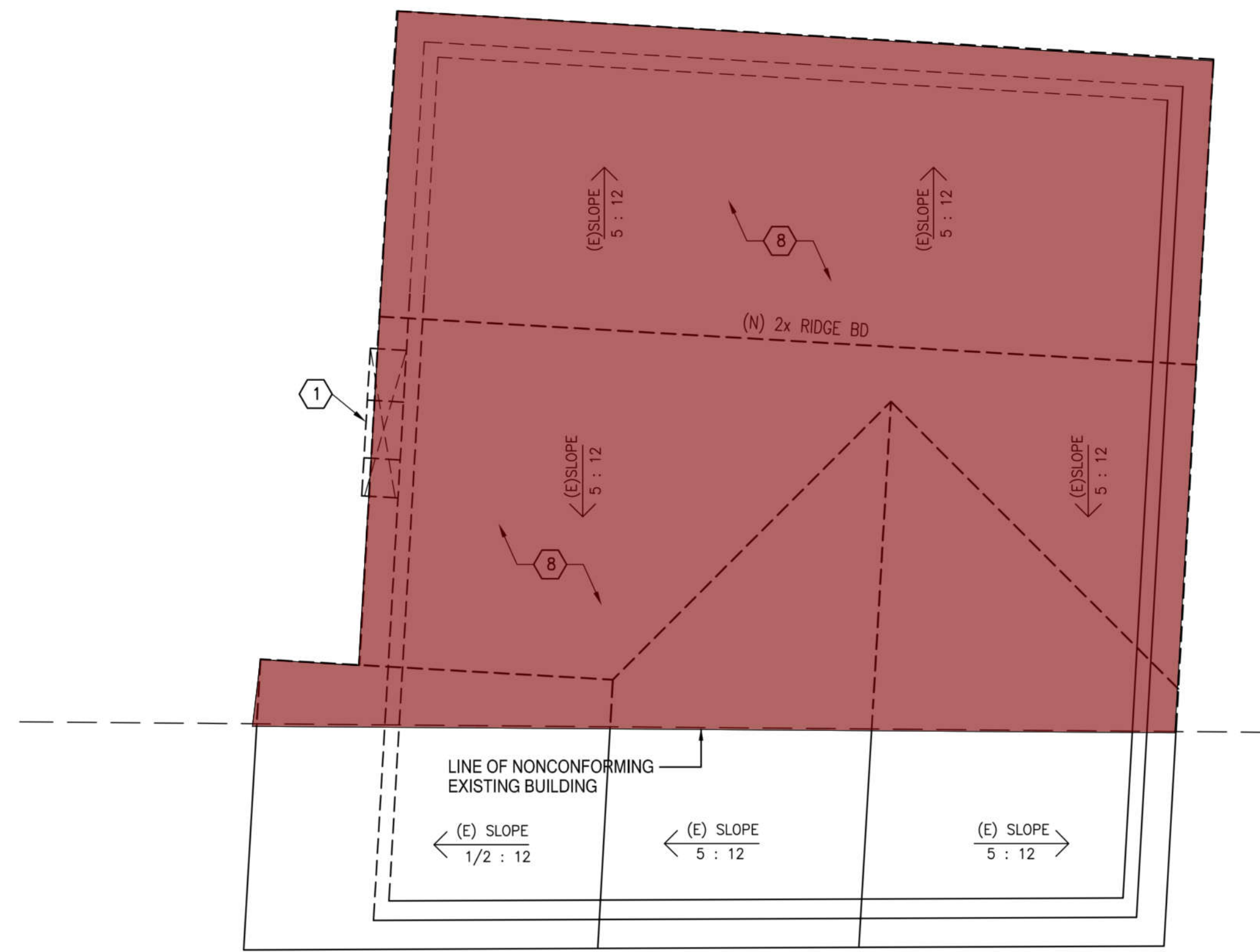
-  EXISTING 1-STORY DWELLING
-  CONVERT EXISTING CRAWL SPACE TO FAMILY ROOM
-  NEW ATTACHED ROOM ADDITION
-  NEW BALCONY
-  NEW 2-CAR GARAGE

**NOTES:**

- 1 16"x16" CATCH BASIN DRAIN WITH GRATE.
- 2 18" CONC. DRAIN PITCH SWALE
- 3 DISCHARGE 4"Ø PVC PIPE WITH 2% MIN. SLOPE.
- 4 DISCHARGE 3"Ø CAST IRON PIPE WITH 2% MIN. SLOPE TO CURB.



- REMOVE EXISTING WINDOW AND FRAME 13.0 EA
- ▬ REMOVE EXISTING BEARING WALL 97.2 FT
- (1'-6"X6'-0") REMOVE EXISTING FIRE PLACE 2.0 EA
- ▬ REMOVE EXISTING WALL 98.9 FT
- ▬ REMOVE EXISTING MILLWORK 34.2 SQ FT
- ▬ REMOVE EXISTING KITCHEN COUNTERTOP 34.2 SQ FT
- REMOVE BATH TUB 1.0 EA
- REMOVE BATH VANITY 1.0 EA
- REMOVE WATERCLOSET 1.0 EA
- REMOVE DOOR 4.0 EA
- ▬ REMOVE EXISTING BATH COUNTERTOP 6.1 SQ FT
- REMOVE EXISTING SLIDING DOOR 1.0 EA
- ▬ 18" DEEP REMOVE EXISTING CLOSET 17.5 FT
- ▬ REMOVE EXISTING BATH FLOOR 31.6 SQ FT
- REMOVE EXISTING CHIMNEY (1'-3"X5'-0"X10'-0") 2.0 EA
- ▬ REMOVE BALCONY 86.7 SQ FT
- ▬ REMOVE EXISTING ROOF INCLUDE ALL FINISH AND FRAMING 684.9 SQ FT
- ▬ REMOVE EXISTING FLOORING 70.5 SQ FT
- ▬ REMOVE EXTERIOR FINISH (9'-0" H) 222.5 FT

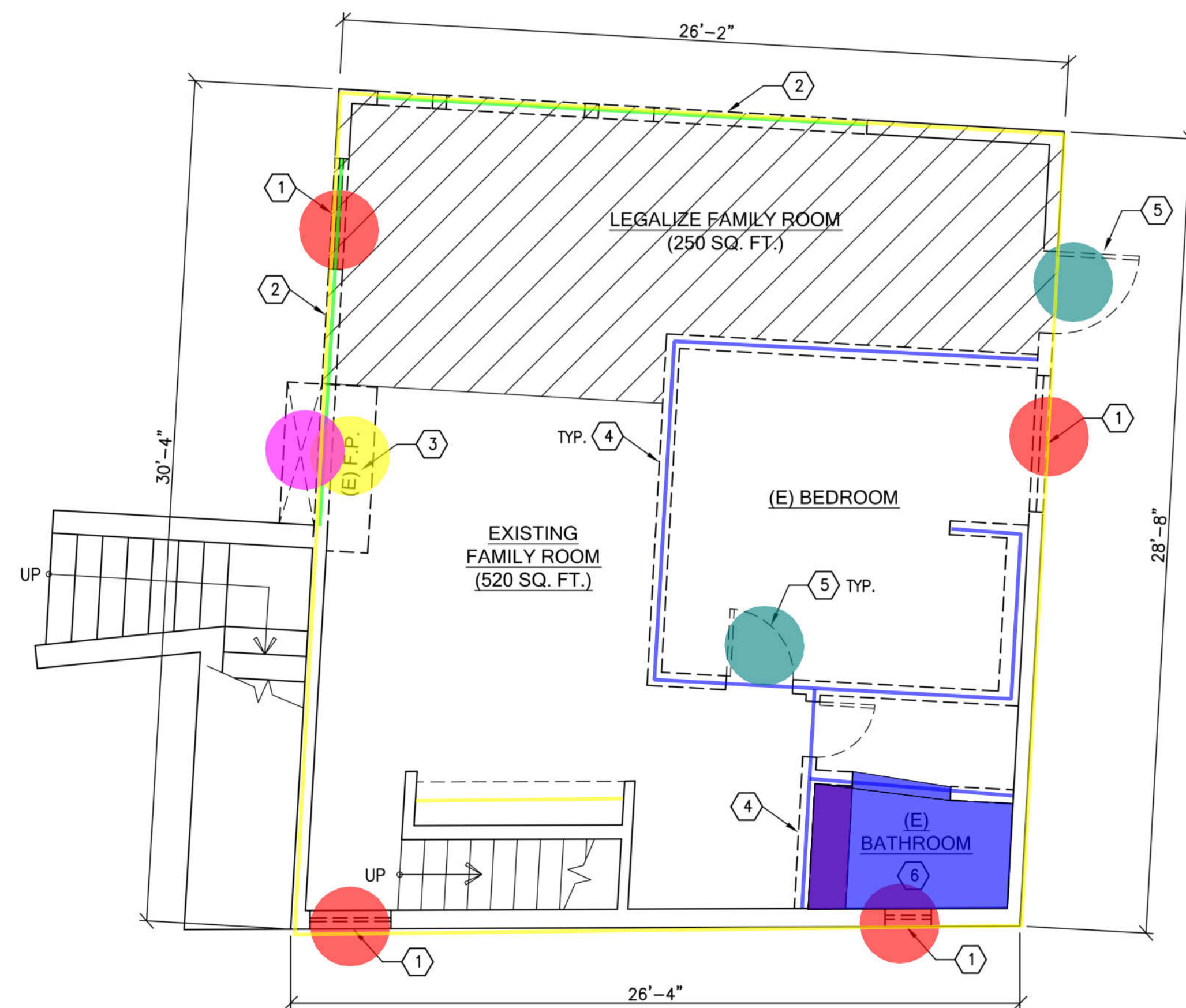


**DEMOLITION NOTES:**

- ① REMOVE (E) CHIMNEY
- ② REMOVE EXISTING ROOF. SEE NEW WORK PLAN

**EXISTING ROOF PLAN - SHOWING DEMOLITION**

SCALE: 1/4" = 1'-0"

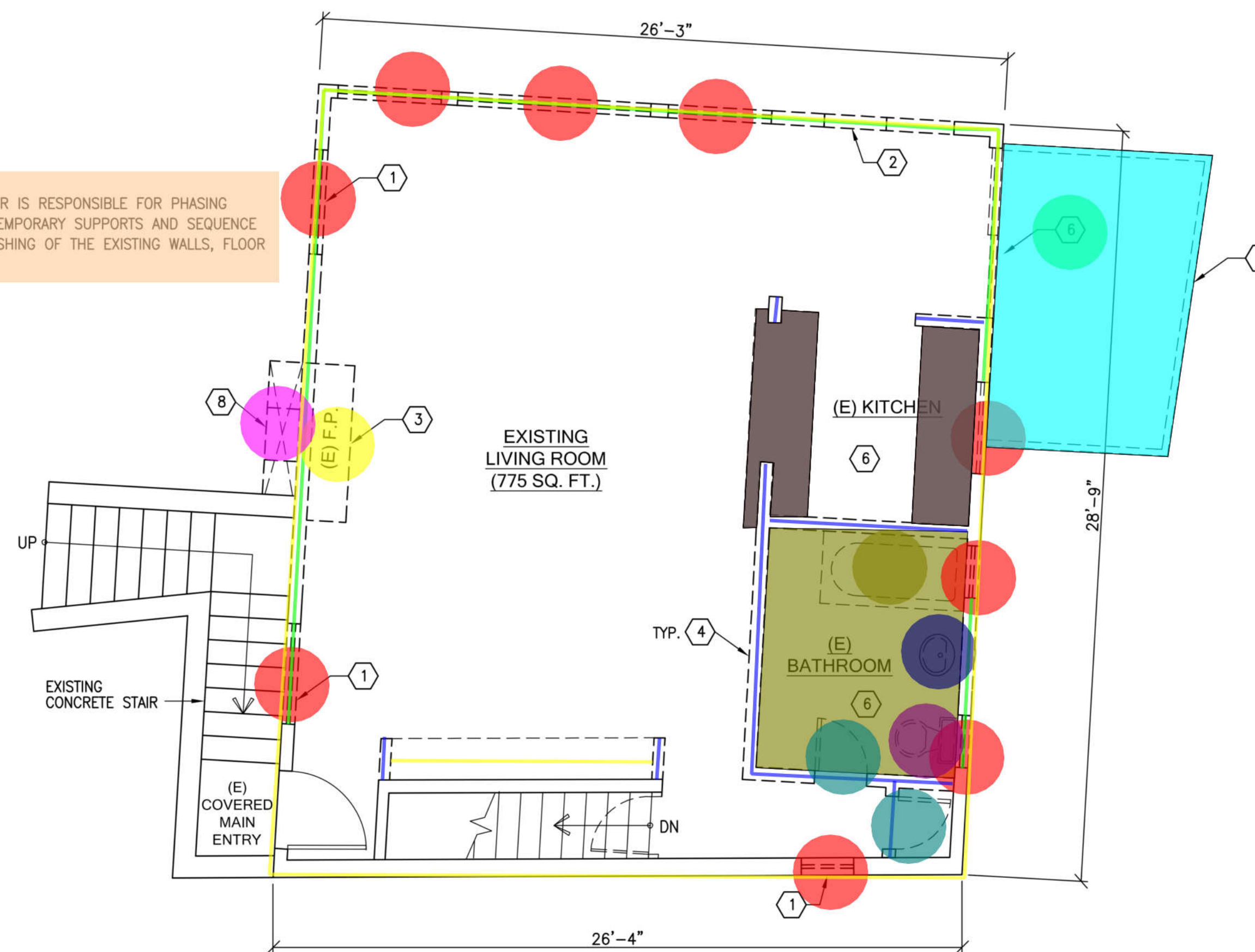


**EXISTING FIRST FLOOR PLAN - SHOWING DEMOLITION**

SCALE: 1/4" = 1'-0"



**NOTES:**  
CONTRACTOR IS RESPONSIBLE FOR PHASING METHOD, TEMPORARY SUPPORTS AND SEQUENCE OF DEMOLISHING OF THE EXISTING WALLS, FLOOR AND ROOF.



**EXISTING SECOND FLOOR PLAN - SHOWING DEMOLITION**

SCALE: 1/4" = 1'-0"







**LEGEND**





- ▬ (E) WALLS TO BE DEMOLISH
- ▬ (E) WALLS TO REMAIN

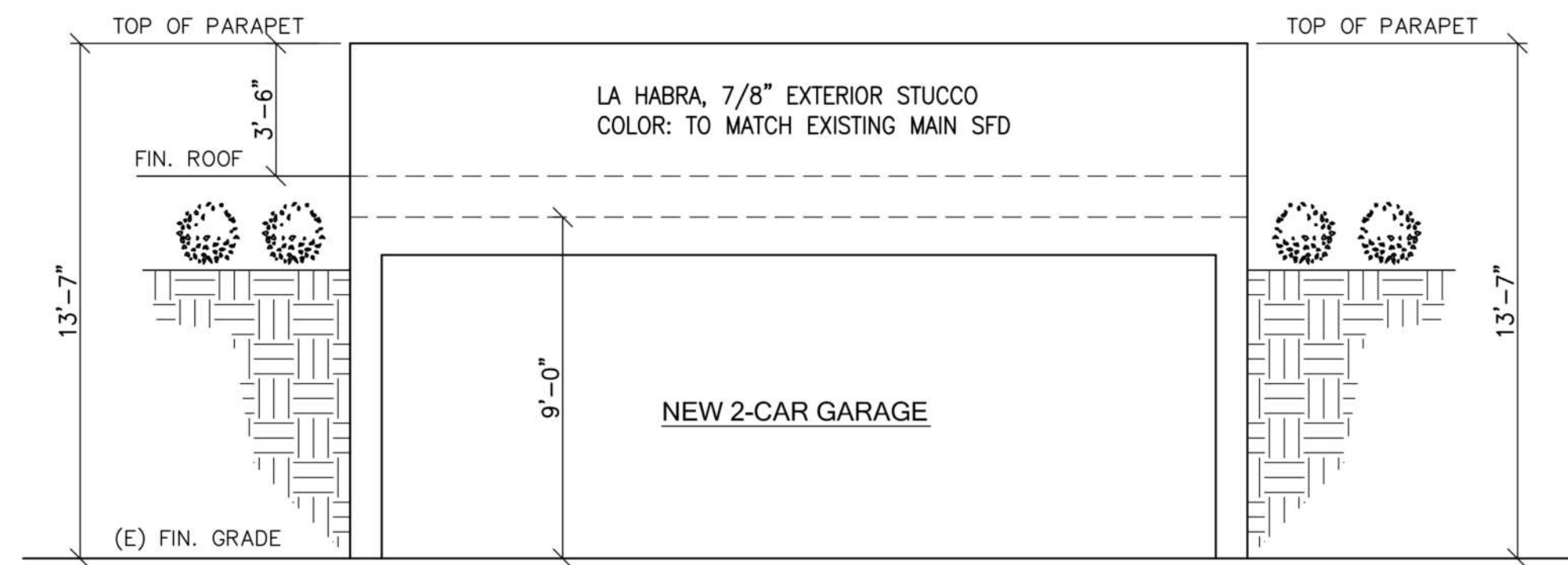
**DEMOLITION NOTES:**

- ① REMOVE (E) WINDOW AND FRAME. TYPICAL
- ② REMOVE (E) BEARING WALL. TYPICAL
- ③ REMOVE (E) FIRE PLACE
- ④ REMOVE (E) WALL. TYPICAL
- ⑤ REMOVE (E) DOOR. TYPICAL
- ⑥ REMOVE (E) SLIDING GLASS DOOR.
- ⑦ REMOVE (E) BALCONY.
- ⑧ REMOVE (E) CHIMNEY



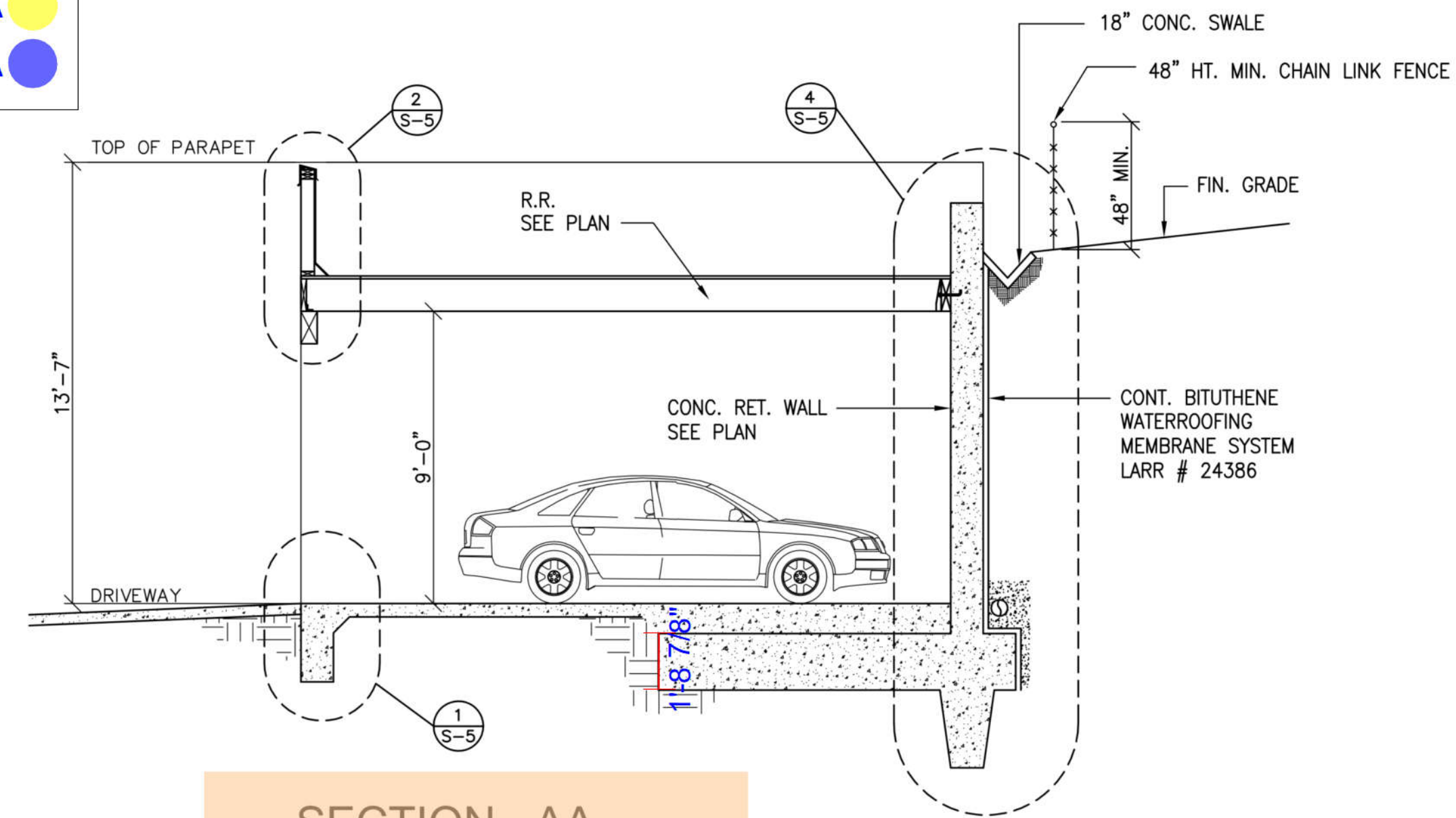
-  4" DRIVEWAY CONCRETE
-  2X12 VALLEY BEAM
-  OVERFLOW DRAIN
-  ROOF DRAIN

-  93.9 SQ FT
-  49.2 FT
-  1.0 EA
-  1.0 EA



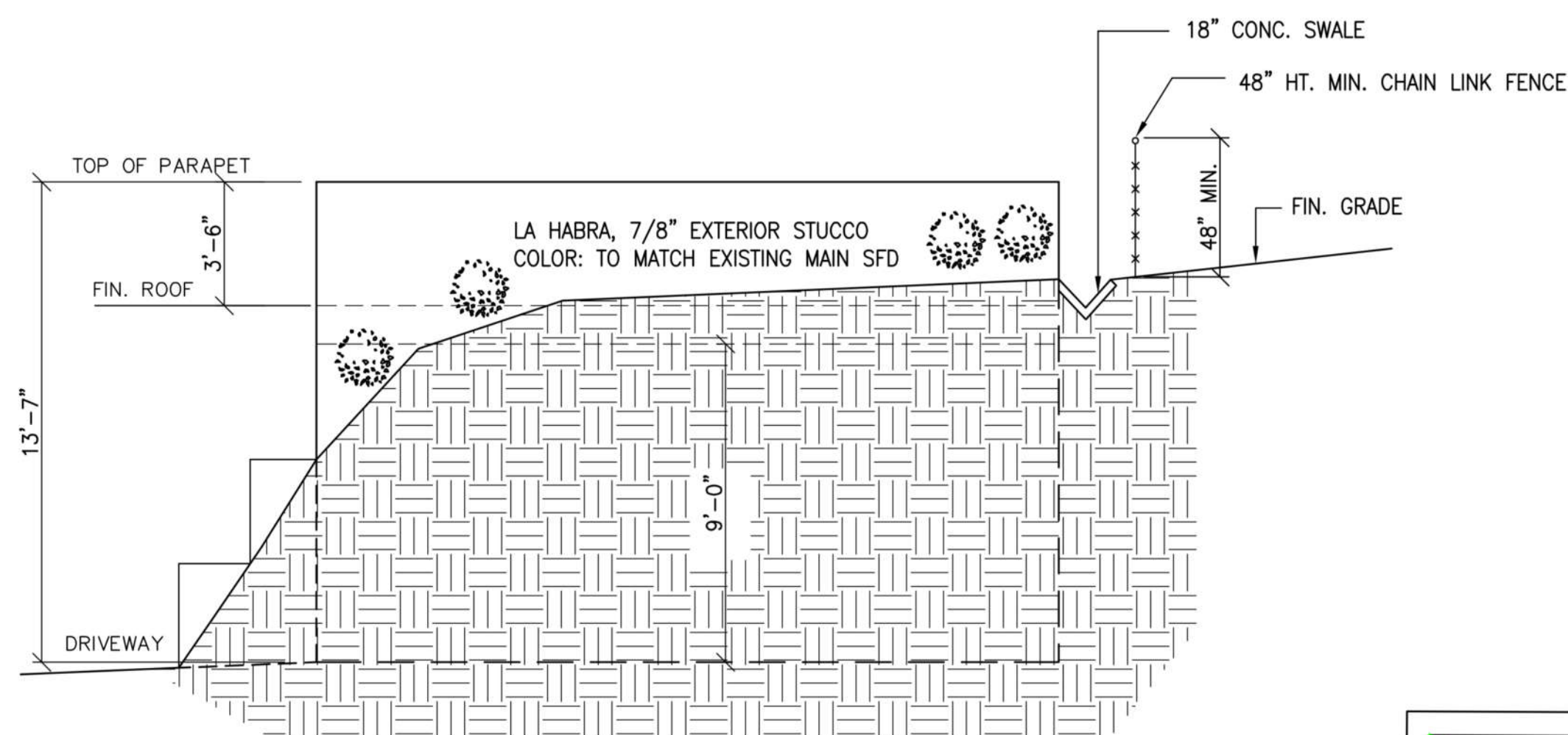
**FRONT WEST ELEVATION**

SCALE 1/4"=1'-0"



**SECTION - AA**

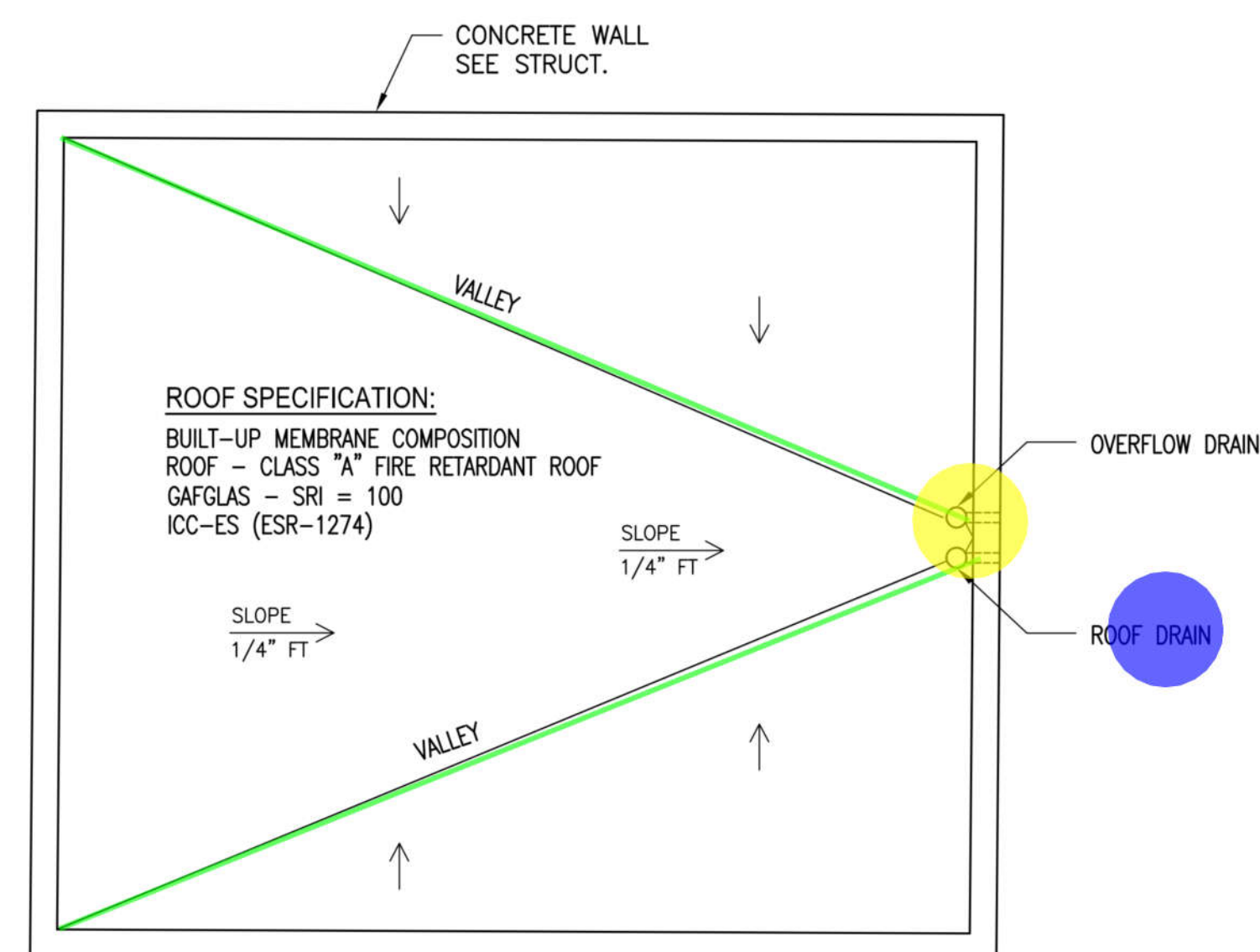
SCALE 1/4"=1'-0"



**RIGHT SIDE SOUTH ELEVATION**

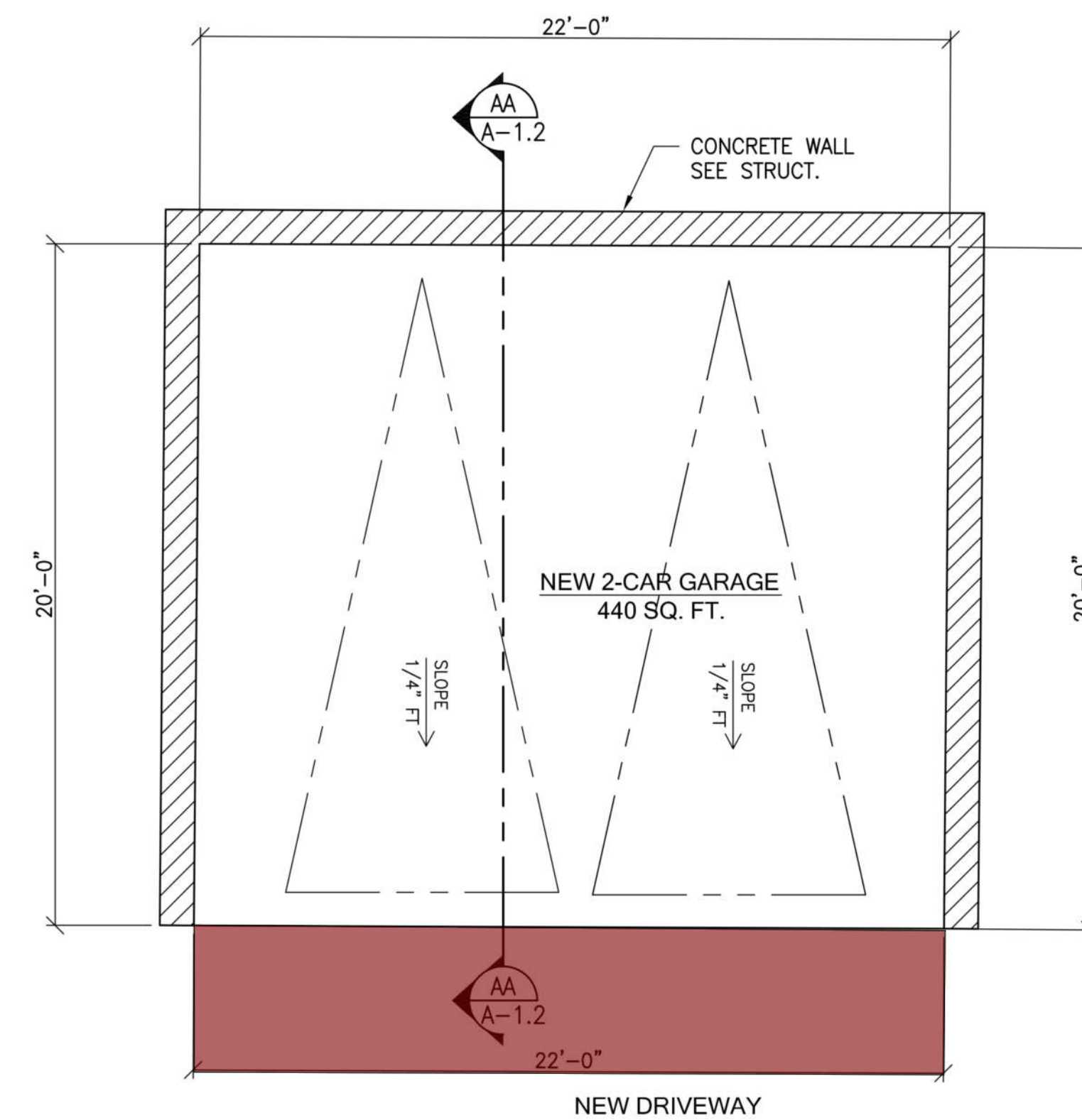
SCALE 1/4"=1'-0"

**NOTE:**  
NEW CARPORT IS BEING MITIGATED BY EXISTING SINGLE FAMILY DWELLING.



**ROOF PLAN**

SCALE 1/4"=1'-0"



**NEW GARAGE PLAN**

SCALE 1/4"=1'-0"





**NOTES:**

- a. THE CONSTRUCTION SHALL NOT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF HOOR-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- b. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- c. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- d. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- e. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENT SHALL FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- f. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- g. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- h. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
- i. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE FLOOR. (6109 OF LABC)
- j. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)
- k. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED SHALL BE LISTED IN ACCORDANCE WITH UL 325 (R309.4)
- l. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
- m. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXISTING DWELLINGS SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.)
- n. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- o. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

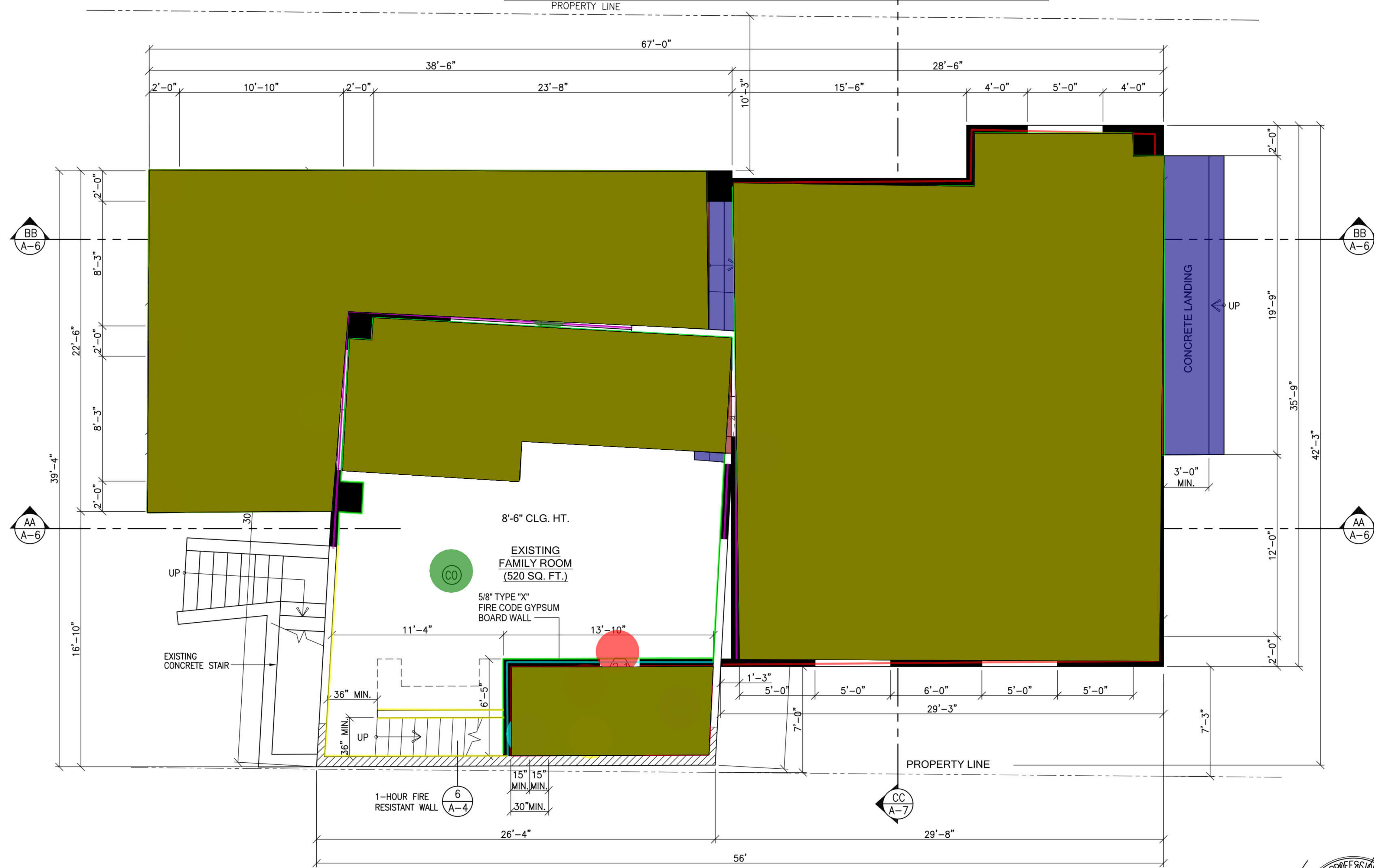
**REFERENCE NOTES:**

- 1 WINDOWS HAVE A MIN. CLEAR OPENING AREA OF 5.7sf. A MIN NET HEIGHT OF 24" AND MIN. NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAX. ABOVE FINISH FLOOR.
- 2 WALL COVERING IN SHOWERS OR TUBS WITHIN SHOWERS SHALL BE OF CEMENT PLASTER, TILE, OR APPROVED EQUAL, TO HEIGHT OF NOT LESS THAN 70 INCHES ABOVE DRAIN INLET. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT. GLASS ENCLOSURE DOORS AND PANELS MUST BE LABELED CATEGORY II. SWING DOOR OUTWARD. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1,024 SQ. IN. OF FLOOR AREA AND ENCOMPASS 30 INCH DIAMETER CIRCLE.
- 3 ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A LABEL (PERMANENT IF TEMPERED) AS SAFETY GLAZING.
  - A. GLAZING IN DOORS, WALLS (WITH THE EXPOSED EDGE OF GLAZING LESS THAN 60" ABOVE DRAIN INLET), AND ENCLOSURES FOR BATHTUBS, SHOWERS, WHIRLPOOLS, SPAS, ETC.
- 4 SMOKE ALARMS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT WHICH THEY SERVE.
- 5 THE SMOKE ALARMS MUST RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP.
- 6 PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIAL FOR SHOWER ENCLOSURE. (R308)

Item	Quantity	Area
2x4 EXTERIOR WALL (42"H)	71.5 FT	
2X6 EXTERIOR WALL (9'-0"H)	94.0 FT	
2X6 INTERIOR WALL (9'-0" H)	61.0 FT	
2X6 INTERIOR WALL 1 LAYER MR BOARD (9'-0 H)	19.8 FT	
METAL CAP FLASHING	71.5 FT	
FIBER CANT OR SADDLE SEALED AND WATERTIGHT	119.7 FT	
(12'-0"x6'-0") SLIDING DOUBLE GLAZING	1.0 EA	
(8'-0"x6'-0") SLIDING DOUBLE GLAZING	1.0 EA	
(2'-8"x7'-0") Solid Core Wood Door Hinged Action W /Door Frame	1.0 EA	
(2'-8"x6'-8") Hollow Core Wood Door Hinged Action W /Door Frame	1.0 EA	
PATIO FLOORING	1424.5 SQ FT	
CARPET FLOORING	219.7 SQ FT	
CERMAIC TILE FLOORING	77.0 SQ FT	
REMOVE EXISTING FLOORING	77.0 SQ FT	
CERAMIC TILE WALL TILE (7'-0" H)	35.4 FT	
REMOVE EXISTING WALL FINISH	18.9 FT	
4" COVE BASE	37.5 FT	
WALL PAINT	210.9 FT	
EXISTING WALL PAINT	42.7 FT	
BATH TUB	1.0 EA	
24" DEEP VANITY COUNTERTOP (7'-0" H)	4.9 FT	
24" DEEP VANITY CABINET	4.9 FT	
WATERCLOSET	1.0 EA	
EF	1.0 EA	
CO	1.0 EA	
8" STAIR COCNRETE	108.2 SQ FT	
24" VANITY	1.0 EA	
5/8" GYP BOARD CEILING	1643.5 SQ FT	
5/8" M.R GYP BOARD CEILING	77.0 SQ FT	
WIRING AND CONDUITING AREA ALLOWANCE	1742.4 SQ FT	
PLUMBING AREA ALLOWANCE	1742.4 SQ FT	
FIRE SPRINKLER AREA ALLOWANCE	1742.4 SQ FT	
HVAC AREA ALLOWANCE	1742.4 SQ FT	

**LEGEND**

- NEW 2x STUD WALL @ 16" O.C.
- 1-HOUR FIRE RESISTANT WALL
- (E) WALLS TO REMAIN
- WINDOW TAG
- DOOR TAG
- ELECTRICAL DUPLEX OUTLET
- SWITCH LOCATION
- SMOKE DETECTOR
- CARBON MONOXIDE
- BATHROOM EXHAUST FAN "ENERGY STAR" W/ 50 CFM - DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY A READILY ACCESSIBLE HUMIDSTAT



**FIRST FLOOR PLAN - SHOWING NEW WORK**

SCALE: 1/4" = 1'-0"



**DOOR SCHEDULE**

NO.	WIDTH	HEIGHT	THK.	TYPE	ACTION	MATERIAL	REMARKS
1	3'-0"	7'-0"	1-3/8"	SOLID CORE	HINGED	WOOD	
2	2'-10"	7'-0"	1-3/8"	HOLLOW CORE	HINGED	WOOD	
2.1	2'-8"	6'-8"	1-3/8"	HOLLOW CORE	HINGED	WOOD	
2.2	2'-8"	6'-8"	1-3/8"	SOLID CORE	HINGED	WOOD	
2.3	2'-8"	6'-8"	1-3/8"	HOLLOW CORE	POCKET DOOR	WOOD	
3	9'-0"	7'-0"	1-3/8"	SLIDING DOOR DOUBLE GLAZING- TEMPERED	SLIDING	VINYL	3 PANEL GLASS DOOR
4	11'-0"	7'-0"	1-3/8"	SLIDING DOOR DOUBLE GLAZING- TEMPERED	SLIDING	VINYL	4 PANEL GLASS DOOR

**WINDOW SCHEDULE**

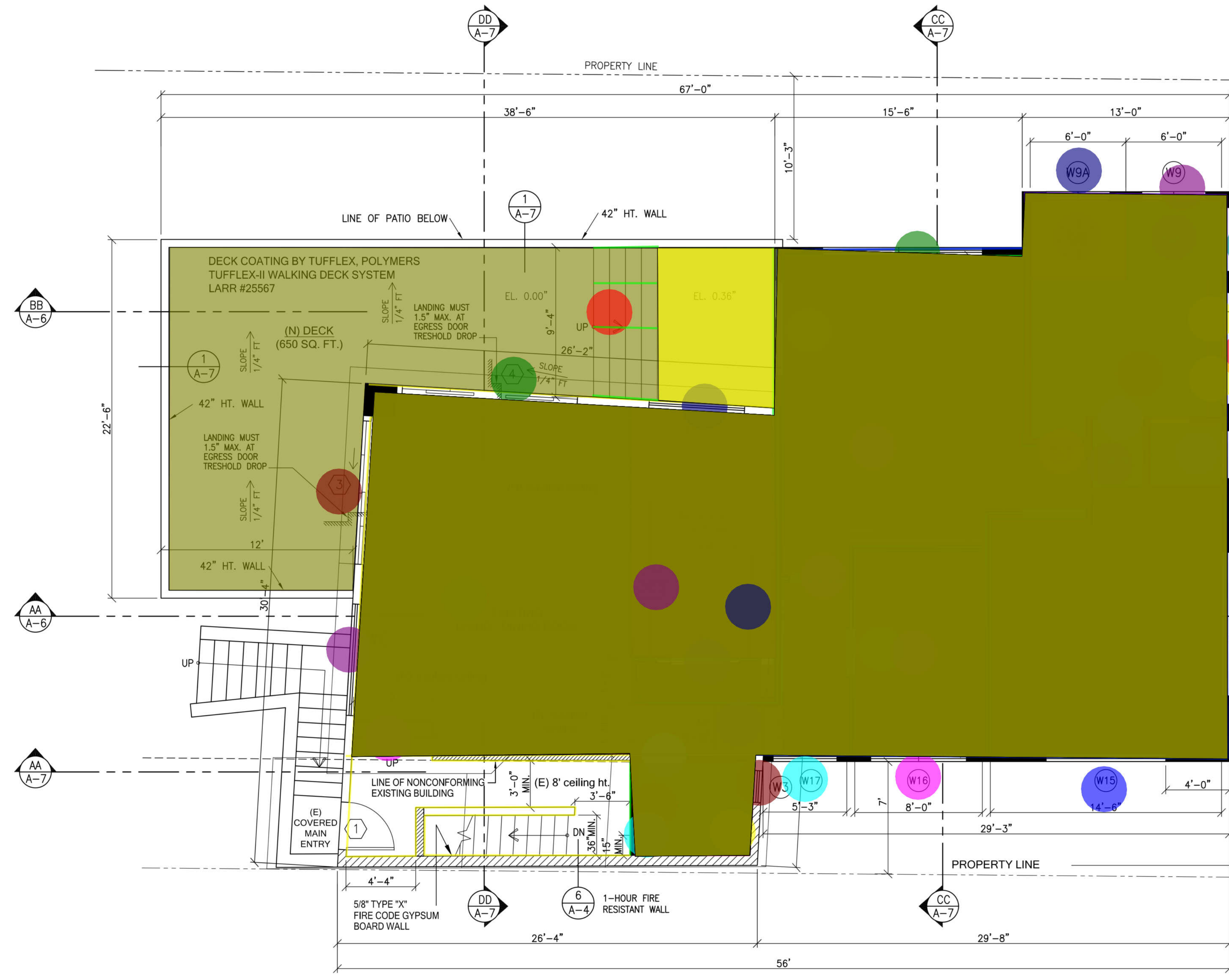
NO.	WIDTH	HEIGHT	TYPE	GLAZING	MAXIMUM U-FACTOR	MAXIMUM SHGC	REMARKS
W1	8'-0"	6'-0"	SLIDING	DOUBLE GLAZING	0.32	0.22	
W2	12'-0"	6'-0"	SLIDING	DOUBLE GLAZING	0.32	0.22	
W3	2'-0"	2'-0"	SLIDING	DOUBLE GLAZING- TEMPERED	0.32	0.22	
W4							
W5	7'-0"	6'-6"	FIXED	DOUBLE GLAZING	0.32	0.22	
W6	6'-0"	4'-0"	SINGLE HUNG	DOUBLE GLAZING	0.32	0.22	
W7	6'-0"	7'-6"	SLIDING	DOUBLE GLAZING	0.32	0.22	
W8	10'-0"	7'-6"	SLIDING	DOUBLE GLAZING	0.32	0.22	4 PANEL
W9	4'-0"	2'-0"	SLIDING	DOUBLE GLAZING- TEMPERED	0.32	0.22	
W10	TRANSOM		FIXED	DOUBLE GLAZING- TEMPERED	0.32	0.22	

**WINDOW SCHEDULE**

NO.	WIDTH	HEIGHT	TYPE	GLAZING	MAXIMUM U-FACTOR	MAXIMUM SHGC	REMARKS
W11	4'-0"	6'-0"	FIXED	DOUBLE GLAZING - TEMPERED GLASS	0.32	0.22	1.0 EA
W12	7'-0"	6'-0"	FIXED	DOUBLE GLAZING - TEMPERED GLASS	0.32	0.22	1.0 EA
W13	3'-0"	6'-0"	FIXED	DOUBLE GLAZING - TEMPERED GLASS	0.32	0.22	1.0 EA
W14	9'-0"	6'-0"	FIXED	DOUBLE GLAZING - TEMPERED GLASS	0.32	0.22	1.0 EA
W15	7'-0"	6'-0"	FIXED	DOUBLE GLAZING - TEMPERED GLASS	0.32	0.22	1.0 EA
W16	6'-0"	4'-0"	SINGLE HUNG	DOUBLE GLAZING	0.32	0.22	1.0 EA
W17	4'-0"	2'-0"	SLIDING	DOUBLE GLAZING - TEMPERED GLASS	0.32	0.22	1.0 EA

NOTE: THE NFRC (INCL. TUBU

- DECK COATING BY TUFFLEX POLYMERS TUFFLEX -II WALKING DECK S... 497.1 SQ FT
- 2X6 INTERIOR WALL 1 LAYER MR BOARD (10'-0"H) 57.4 FT
- 2X6 EXTERIOR WALL (10'-0"H) 72.2 FT
- 2X6 EXTERIOR WALL 1 LAYER MR BOARD (10'-0"H) 34.4 FT
- 2X6 NTERIOR WALL (10'-0"H) 81.0 FT
- 2X6 GABLE WALL (3'-6"H) 51.4 FT
- 2X6 PARAPET WALL (3'-0"H) 106.6 FT
- 2X6 CEILING JOSIT @ 16" O.C 140.1 SQ FT
- VAULTED CEILING (5:12) 404.7 SQ FT
- (4'-0"x2'-0") SLINDING DOUBLE GLAZING -TEMPERED GLASS 1.0 EA
- (4'-0"x2'-0") SLINDING DOUBLE GLAZING -TEMPERED GLASS 1.0 EA
- (4'-0"x6'-0") FIXED DOUBLE GLAZING WINDOW 1.0 EA
- (7'-0"x5'-0") FIXED DOUBLE GLAZING WINDOW 1.0 EA
- (3'-0"x3'-0") SLINDING DOUBLE GLAZING - TEMPERED GLASS WINDOW 1.0 EA
- (9'-0"x2'-0") FIXED DOUBLE GLAZING WINDOW 1.0 EA
- (7'-6"x2'-0") FIXED DOUBLE GLAZING WINDOW 1.0 EA
- (6'-0"x5'-0") SLIDING DOUBLE GLAZING WINDOW 1.0 EA
- (4'-0"x5'-0") SLIDING DOUBLE GLAZING WINDOW 1.0 EA
- (2'-0"x2'-0") SLINDING DOUBLE GLAZING-TEMPERED GLASS 1.0 EA
- (10'-0"x7'-6") SLINDING DOUBLE GLAZING 4- PANEL 1.0 EA
- (6'-0"x7'-6") SLINDING DOUBLE GLAZING 1.0 EA
- (6'-0"x4'-0") SINGLE HINGE DOUBLE GLAZING 1.0 EA
- (7'-0"x6'-6") FIXED DOUBLE GLAZING 1.0 EA
- (2'-8"x6'-8") Hollow Core Wood Door Hinged Action W /Door Frame 1.0 EA
- (2'-8"x7'-0") Hollow Core Wood Pocket Door Hinged Action W /Door Frame 1.0 EA
- (3'-4"x6'-8") PANTRY DOOR 1.0 EA
- (2'-10"x7'-0") Solid Core Wood Door Hinged Action W /Door Frame 1.0 EA
- (3'-0"x7'-0") double leaf door 1.0 EA
- BATH TUB 1.0 EA
- (5'-0"x7'-0") TEMPREDED GLASS SHOWER ENCLOSURE 1.0 EA
- CURTAIN W/ROD 11.8 FT
- SHOWER PAN 30.1 SQ FT
- 12" DEEP BATH CABIENT 7.0 FT
- 24" DEEP VANITY CABIENT 14.5 FT
- 24" DEEP VANITY COUNTERTOP 14.5 FT
- 24" VANITY 3.0 EA
- WATERCLOSET 2.0 EA
- WASHER /DRYER 2.0 EA
- SD 2.0 EA
- CO 2.0 EA
- 20" DEEP KITCHEN CABIENT 5.7 FT
- 24" DEEP COUNTER TOP 6.5 FT
- 24" DEEP BASE CABIENT 6.5 FT
- 12" DEEP UPPER CABIENT 6.5 FT
- 30" DEEP CABIENT 9.8 FT
- 30" DEEP COUBNTERTOP 9.8 FT
- 36" H KNEE WALL 12.3 FT
- 24" DEEP PANTRY CABIENT 7.6 FT
- 24" DEEP WALK IN CLOSET 48.0 FT
- CARPET FLOORING 676.0 SQ FT
- 4" COVE BASE 216.1 FT
- (9'-4" W) WOOD STAIR 1.0 EA
- 2"x12" STRINGER 16.2 FT
- LANDING 71.5 SQ FT
- (3'-0" W) WOOD STAIR 1.0 EA
- (5'-0" W) WOOD STAIR 1.0 EA
- 24" DEEP ROOM CABIENT 8.5 FT
- CERMAIC TILE FLOORING 243.8 SQ FT
- CERAMIC TILE WALL TILE (7'-0" H) 83.3 FT
- WALL PAINT 300.9 FT
- EXISTING WALL PAINT 126.2 FT
- 5/8" GYP BOARD CEILING 805.0 SQ FT
- 5/8" M.R GYP BOARD CEILING 241.0 SQ FT
- REMOVE EXISTING WALL FINISH 12.8 FT
- (2'-6"x7'-0") Single leaf door 1.0 EA
- (9'-0"x7'-0") Vinly Double Glazing Tempered Sliding Action W /Door Frame 1.0 EA
- (11'-0"x7'-0") Vinly Double Glazing Tempered Sliding Action W /Door Frame 1.0 EA
- WIRING AND CONDUITING AREA ALLOWANCE 1560.2 SQ FT
- PLUMBING AREA ALLOWANCE 1560.2 SQ FT
- FIRE SPRINKLER AREA ALLOWANCE 1560.2 SQ FT
- HVAC AREA ALLOWANCE 1560.2 SQ FT
- DOUBLE COMPARTMENT SINK 1.0 EA
- COOKING RANGE 1.0 EA



**SECOND FLOOR PLAN - SHOWING NEW WORK TOTAL ADDITION (968 SQ. FT.)**

SCALE: 1/4" = 1'-0"

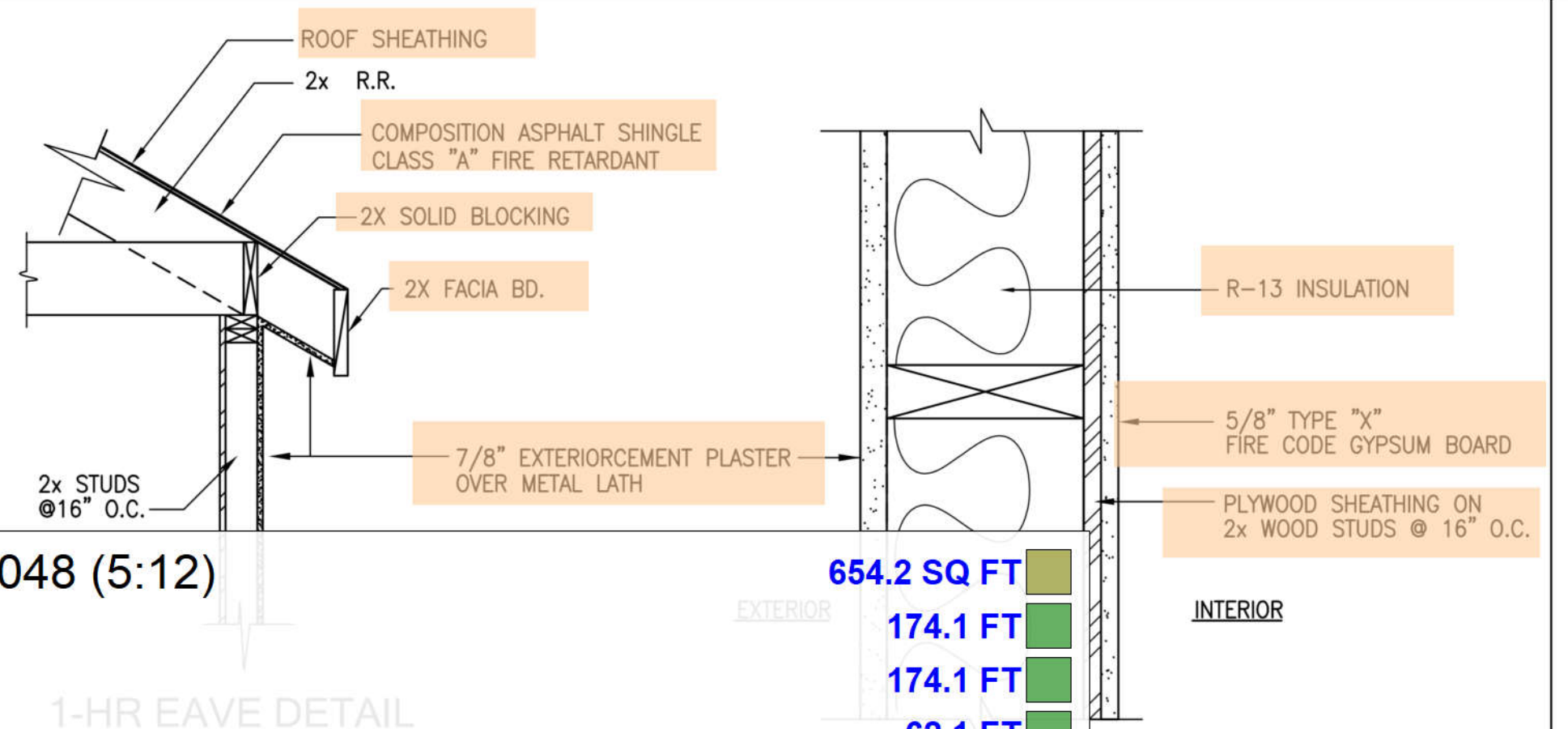
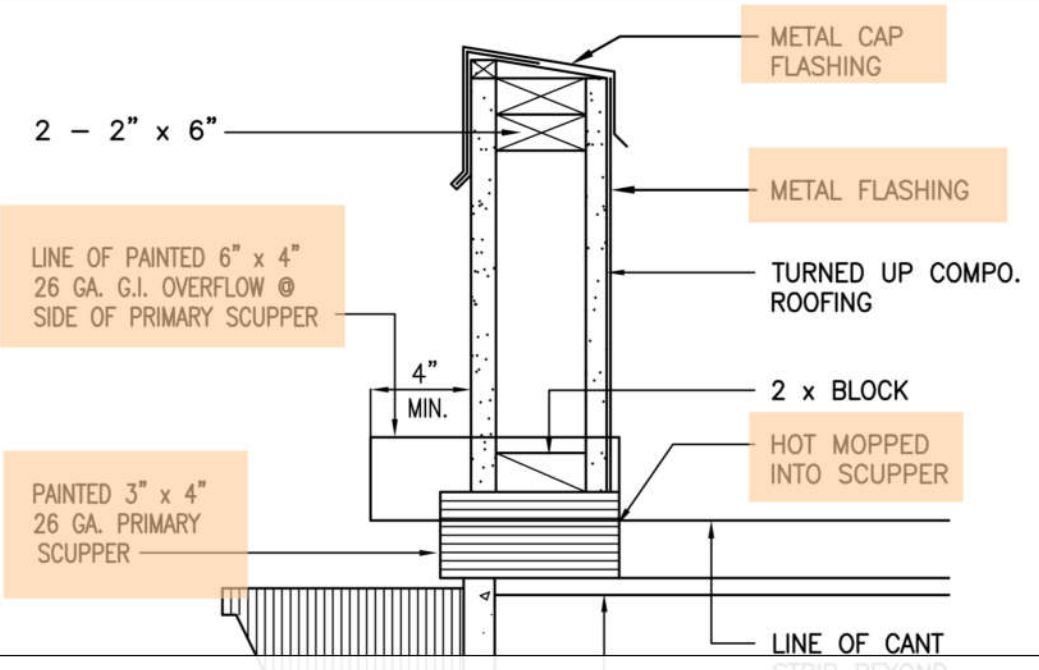


7/8" EXTERIOR CEMENT PLASTER OVER WIRE FABRIC AND TWO LAYERS OF GRADE D PAPER OVER ALL WOOD BASE SHEATHING

STUD FRAMING  
STUCCO WEEP SCREED MINIMUM 26 GALVANIZED CORROSION

STANDING SEAM METAL ROOFING MFR FOR ROOF APPLICATION LARR #25177 ESR #2048 (5:12)

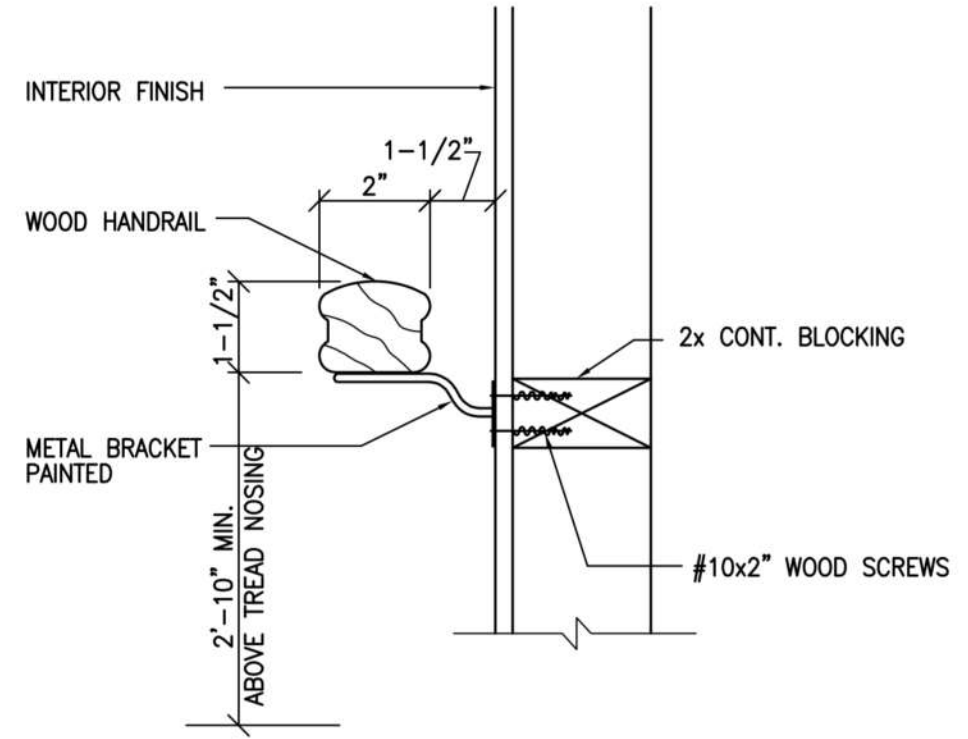
- ALUMINUM GUTTER
- 4X3 DRIP FLASHING
- 2X12 FASCIA BOARD
- 12" W SOFFIT
- 2X12 VALLEY BEAM
- 2X12 RIDGE BEAM
- SCUPPER



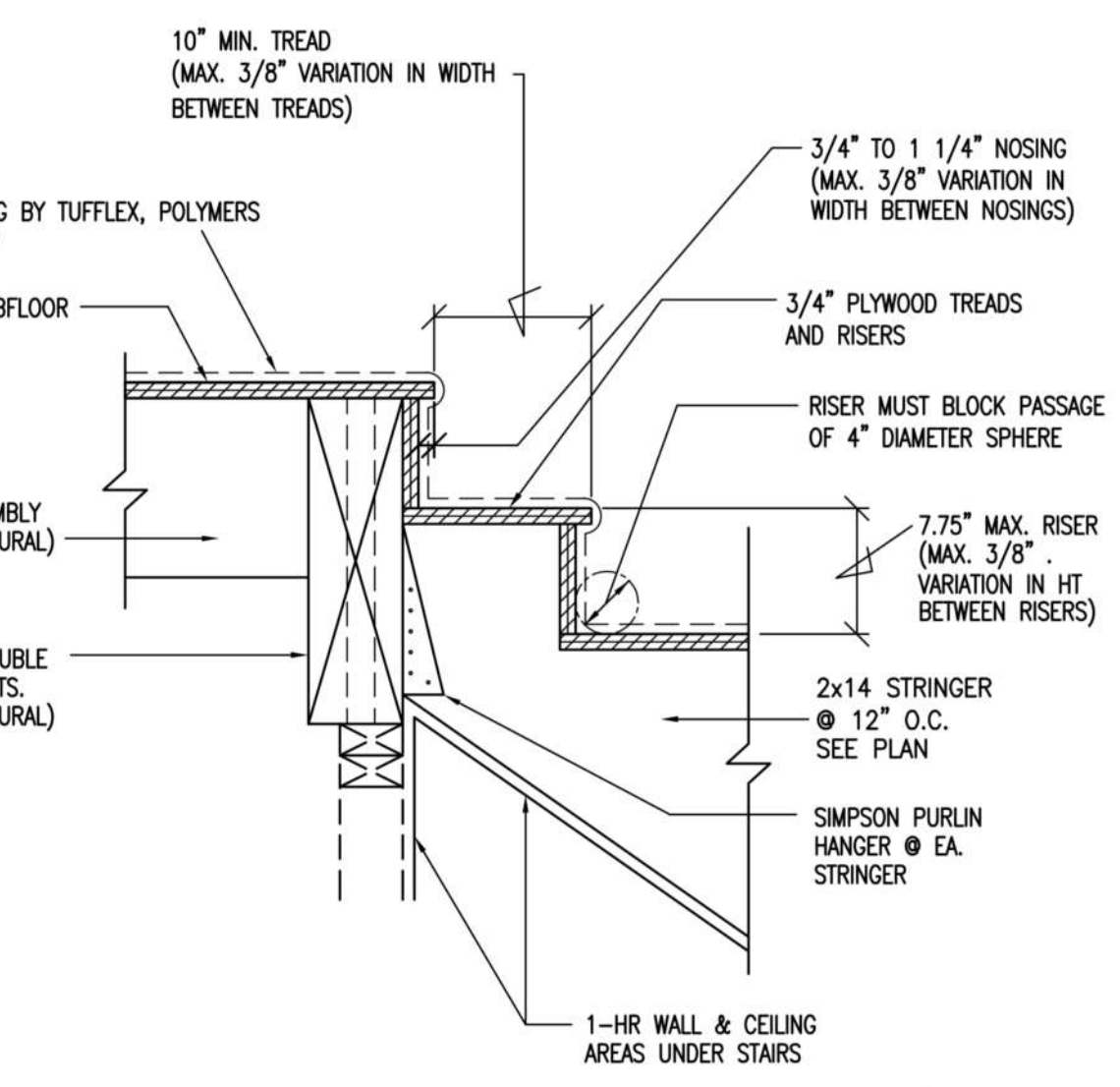
654.2 SQ FT
174.1 FT
174.1 FT
62.1 FT
62.1 FT
61.4 FT
27.5 FT
1.0 EA

NOTE:  
NEW CARPORT IS BEING MITIGATED BY EXISTING SINGLE FAMILY DWELLING.

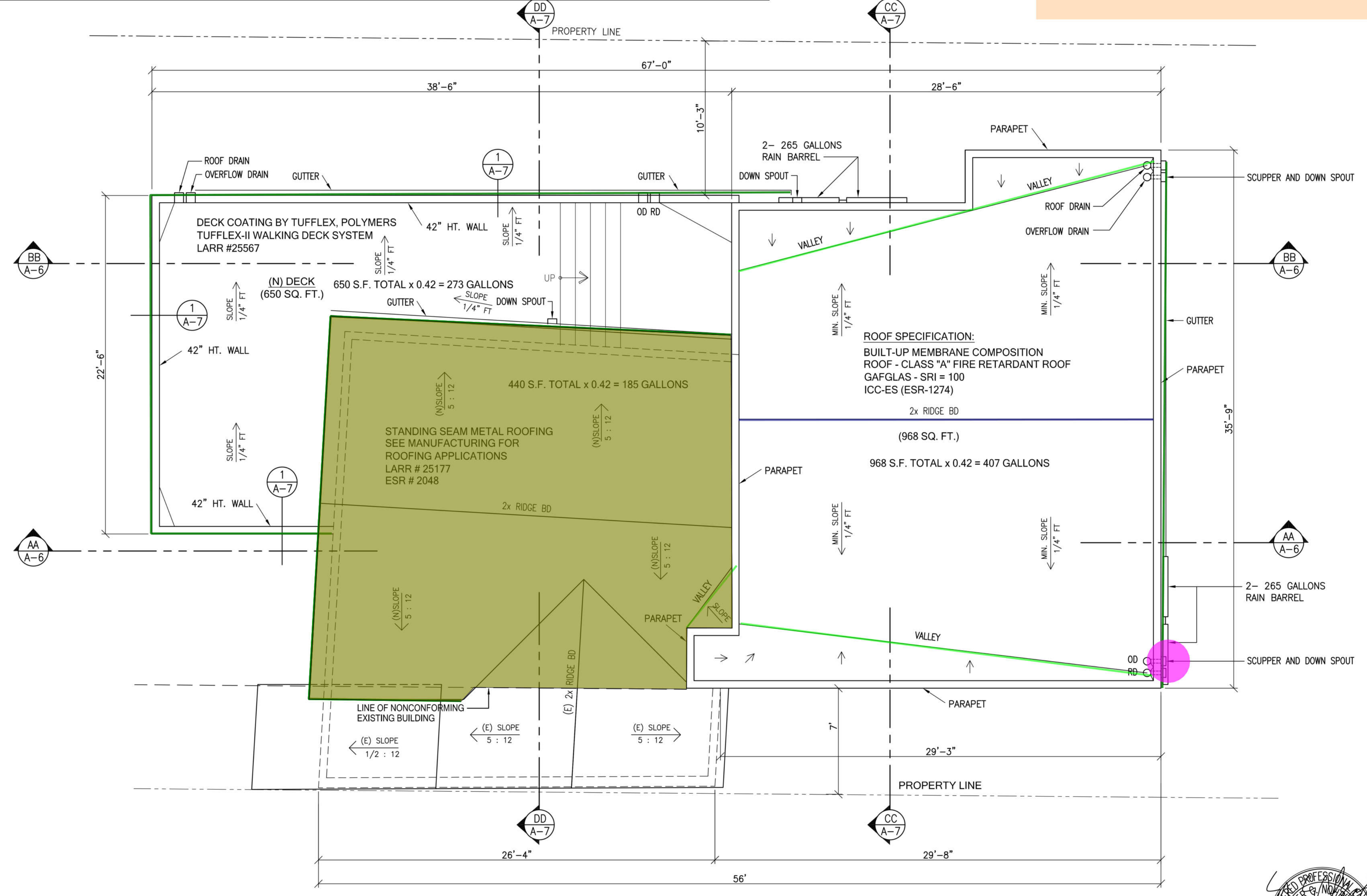
NEW IMPERVIOUS SFD AREA = 1,618 S.F.  
NEW IMPERVIOUS COVERED CARPORT AREA = 440 SQ. FT.  
OFFSET NEW CARPORT IMPERVIOUS AREA FOR EXISTING ROOF AREA ON PLANS SITE PLAN  
TOTAL NEW IMPERVIOUS AREA = 2,058 S.F.  
RAIN TANKS  
2,058 S.F. TOTAL x 0.42 = 865 GALLONS  
PROVIDED:  
4- 265 GALLONS RAIN BARRELS  
VEGETATED LANDSCAPE AREA 166 SQ FT



3 HANDRAIL DETAIL N.T.S.

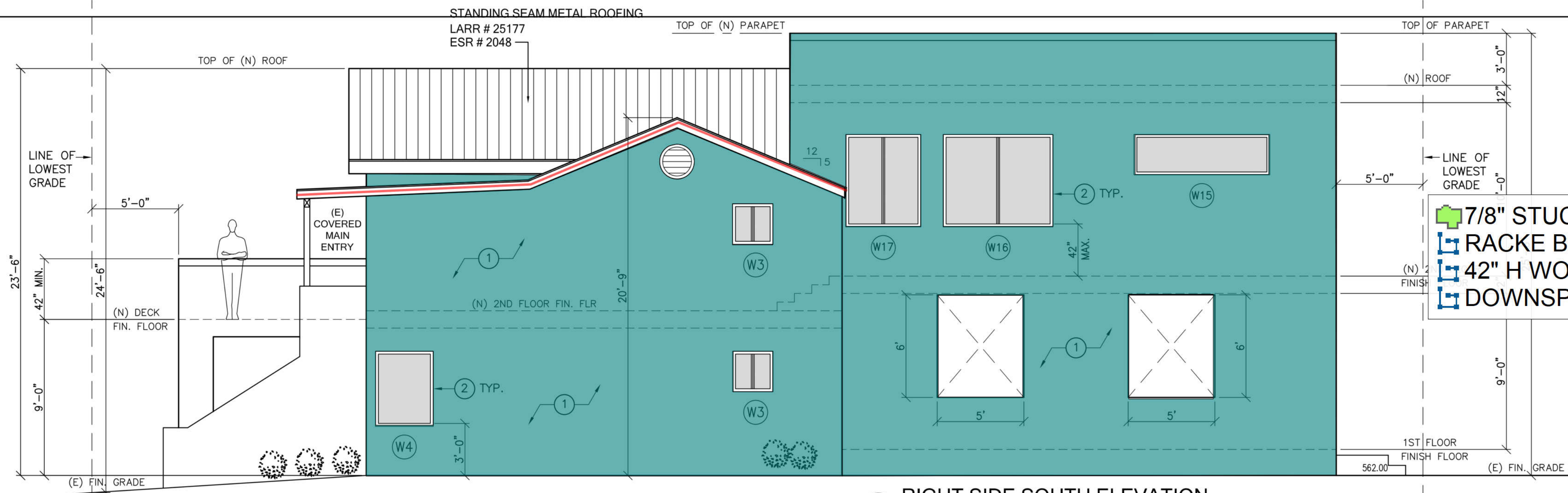


2 STRINGER AT HEADER N.T.S.



ROOF PLAN - SHOWING NEW WORK  
SCALE: 1/4" = 1'-0"

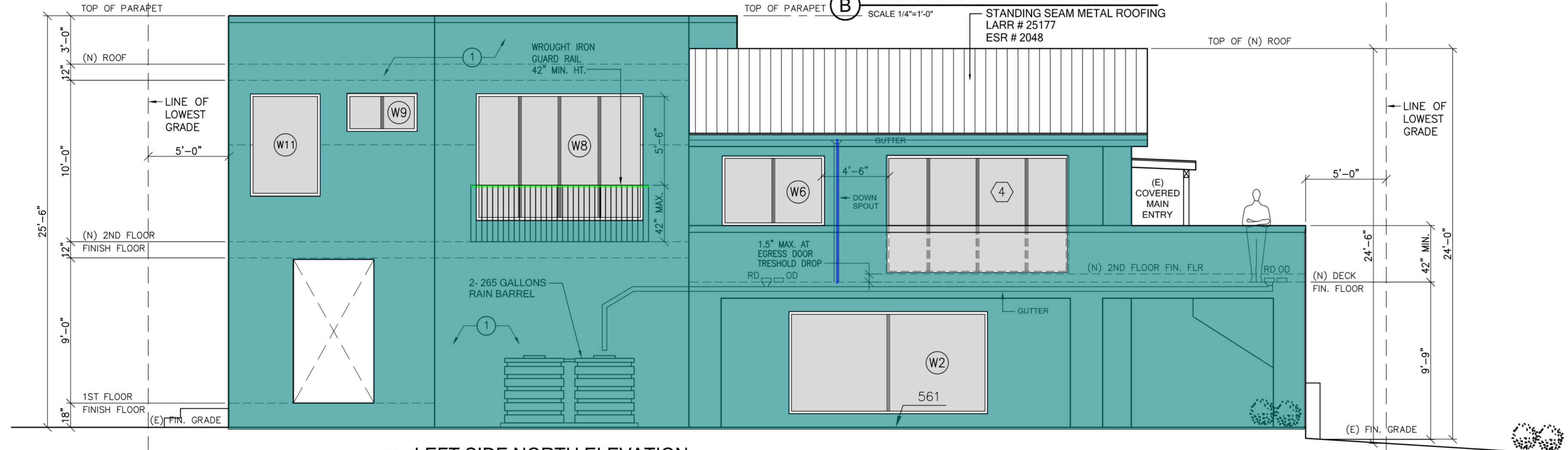




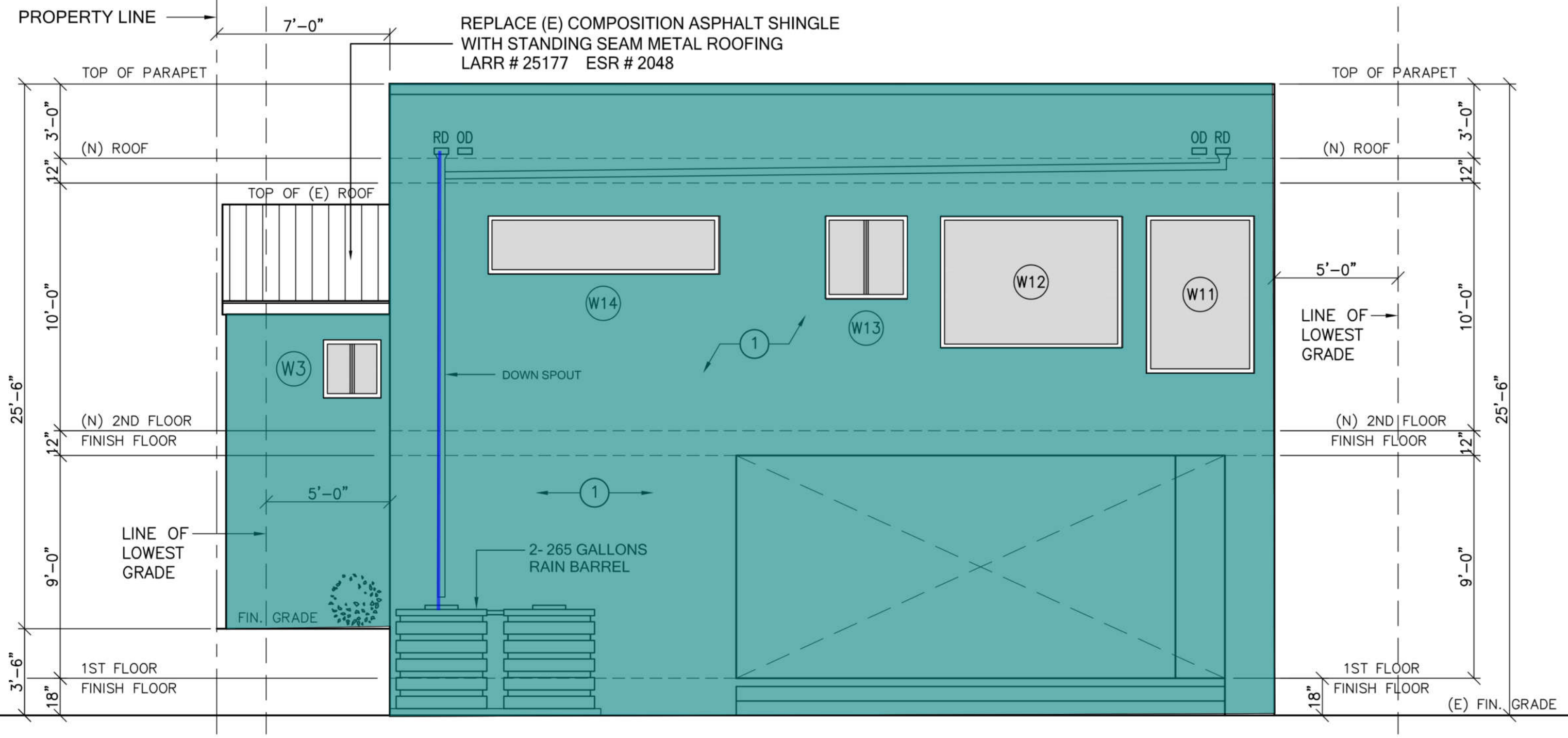
7/8" STUCCO LA HABRA	3634.9 SQ FT
RACKE BOARD	60.4 FT
42" H WUGHT IRON GUARD RAIL	11.1 FT
DOWNSPOUT	27.5 FT

**B RIGHT SIDE SOUTH ELEVATION**  
SCALE 1/4"=1'-0"

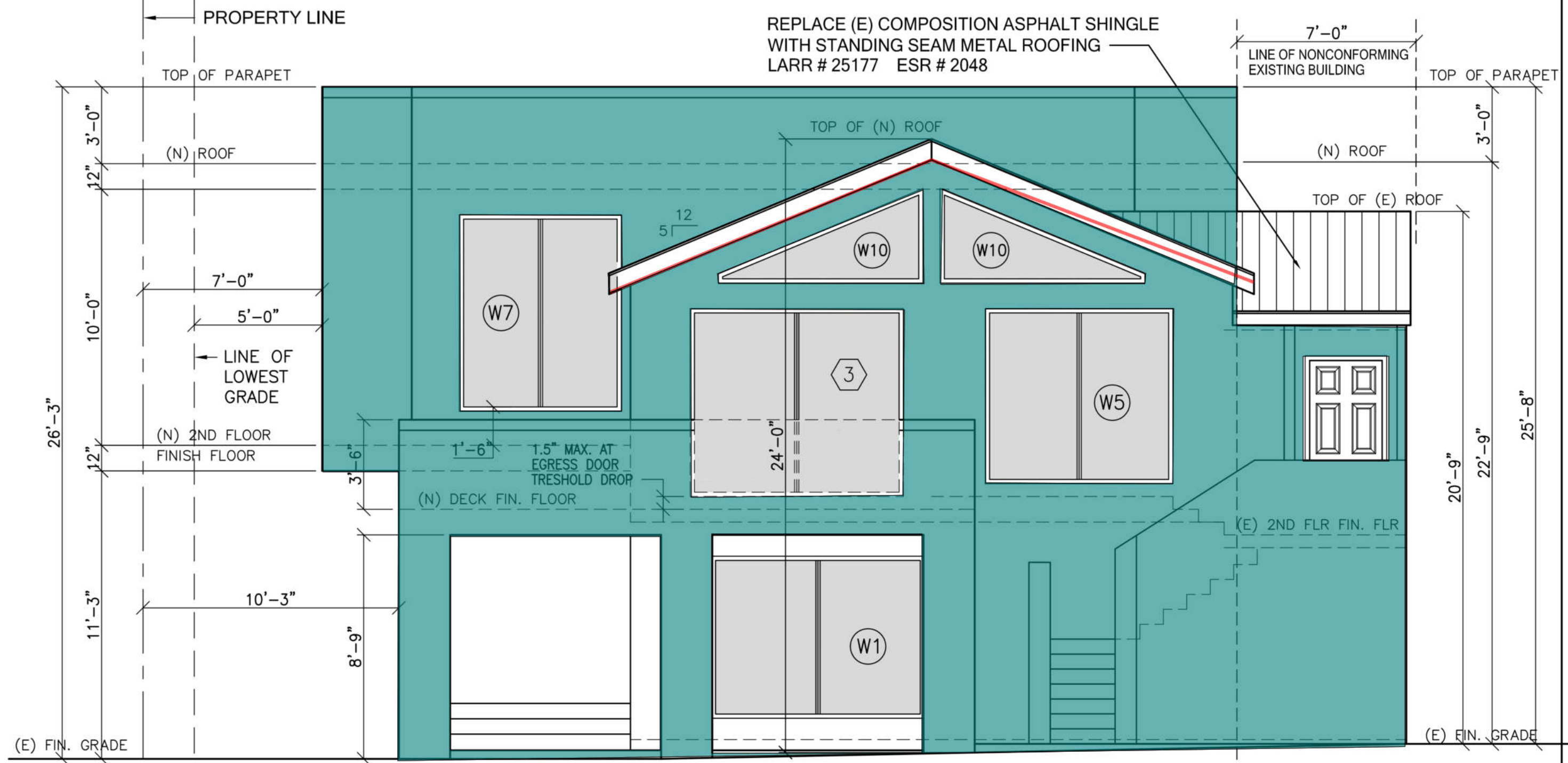
- SPECIFICATION:**
- 1 STUCCO: LA HABRA, 7/8" EXTERIOR STUCCO COLOR: SELECTED BY OWNER
  - 2 VINYL WINDOW: SELECTED BY OWNER
  - 3 VINYL SLIDING GLASS DOOR: SELECTED BY OWNER



**A LEFT SIDE NORTH ELEVATION**  
SCALE 1/4"=1'-0"



**D REAR EAST ELEVATION**  
SCALE 1/4"=1'-0"



**C FRONT WEST ELEVATION**  
SCALE 1/4"=1'-0"

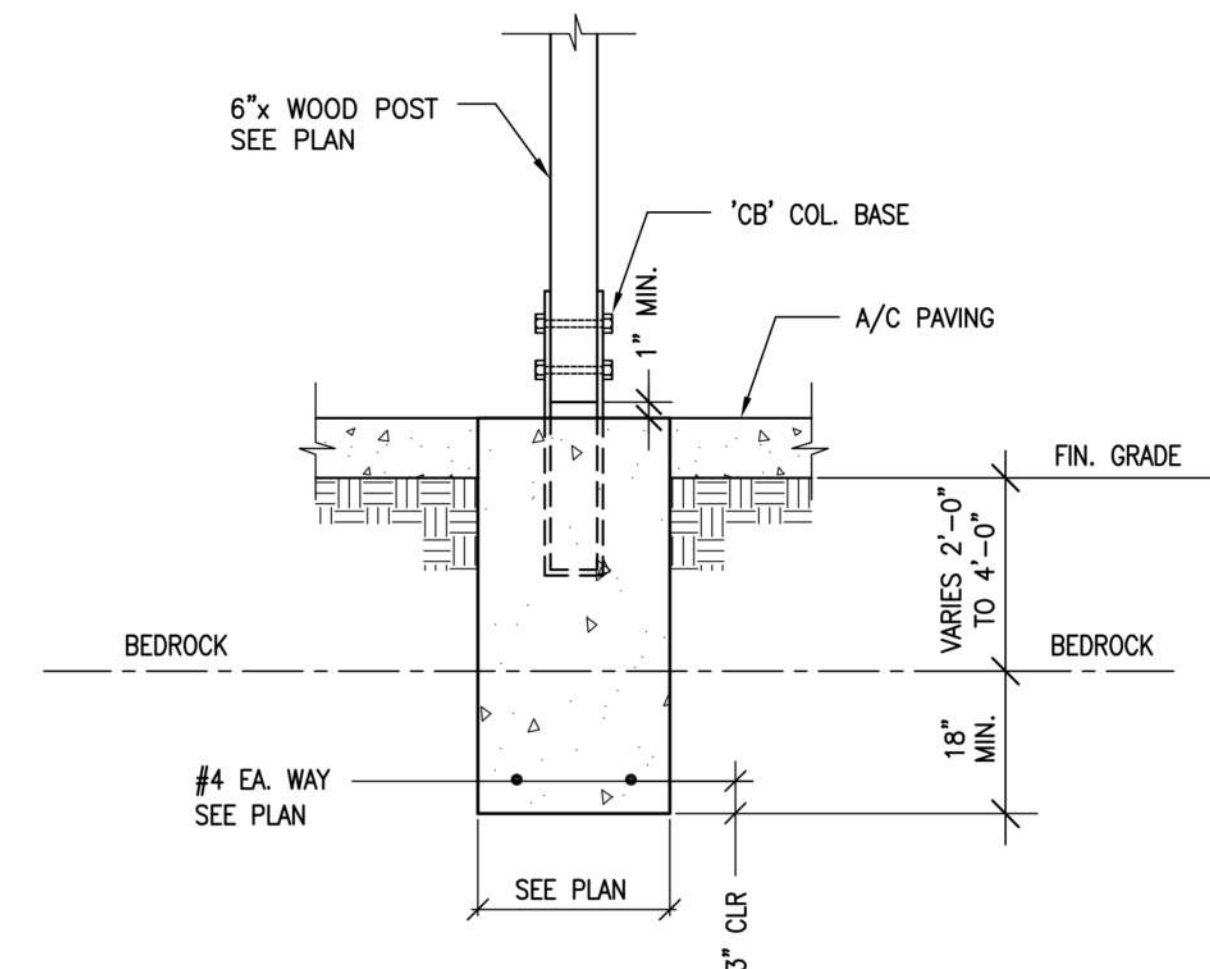
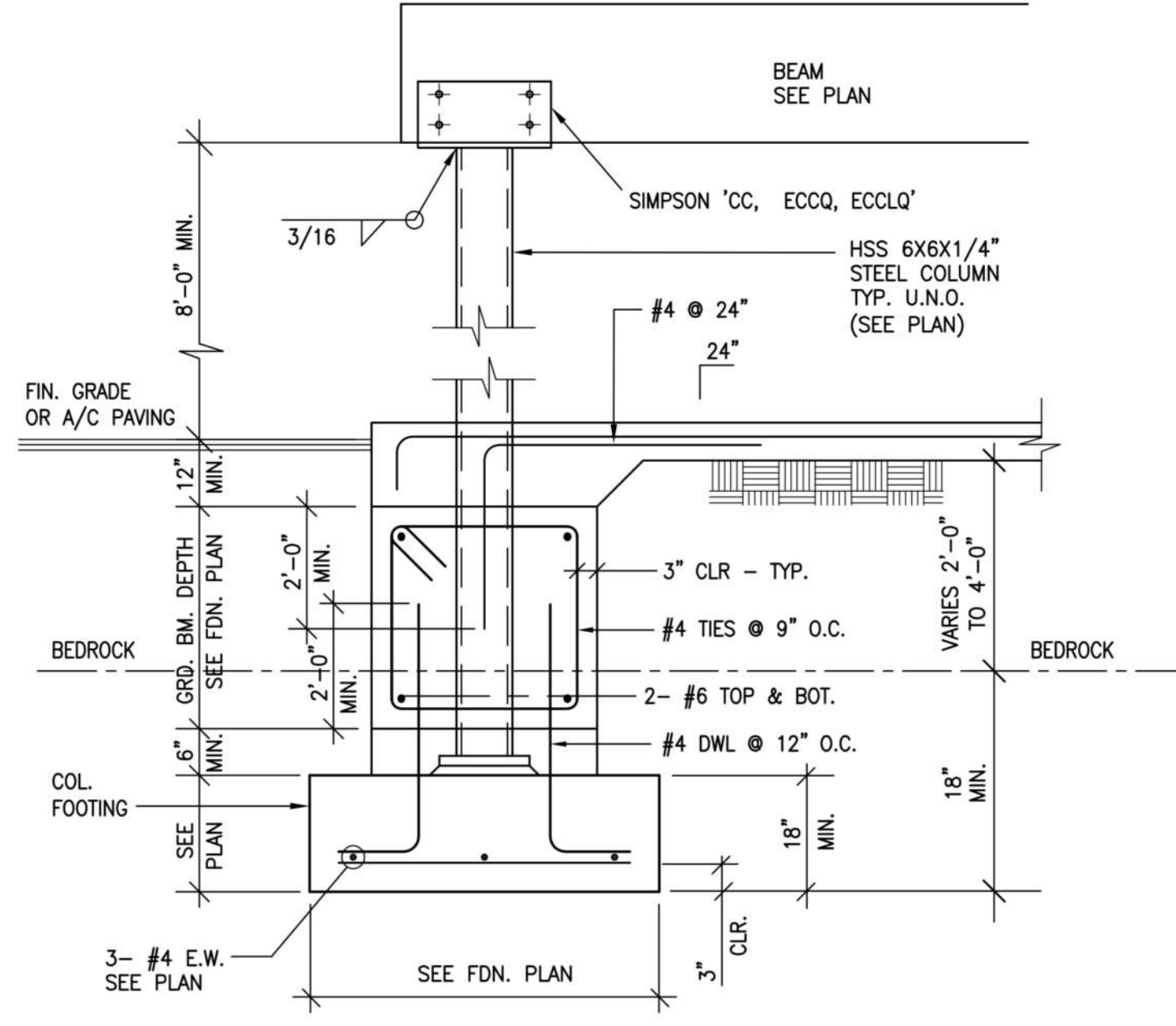
- THICKENED EDGE (0.23 SF)
- 18"x21" GB
- 36" W FOOTING
- 8" THICK 3'-6" H STEM WALL
- F3
- F2
- F4
- F1
- HDU4
- HDU2
- HSS6X6X1/4 (9'-0"h)
- 4X6 POST
- 6X4 POST
- 6X6 POST
- 4X4 POST
- 4" CONCRETE

- 93.2 FT
- 71.5 FT
- 29.2 FT
- 29.2 FT
- 1.0 EA
- 2.0 EA
- 4.0 EA
- 4.0 EA
- 16.0 EA
- 15.0 EA
- 4.0 EA
- 16.0 EA
- 7.0 EA
- 6.0 EA
- 4.0 EA
- 1606.3 SQ FT

LATE DETAIL

1 DETAIL  
N.T.S.

2 DETAIL  
N.T.S.



3 DETAIL  
N.T.S.

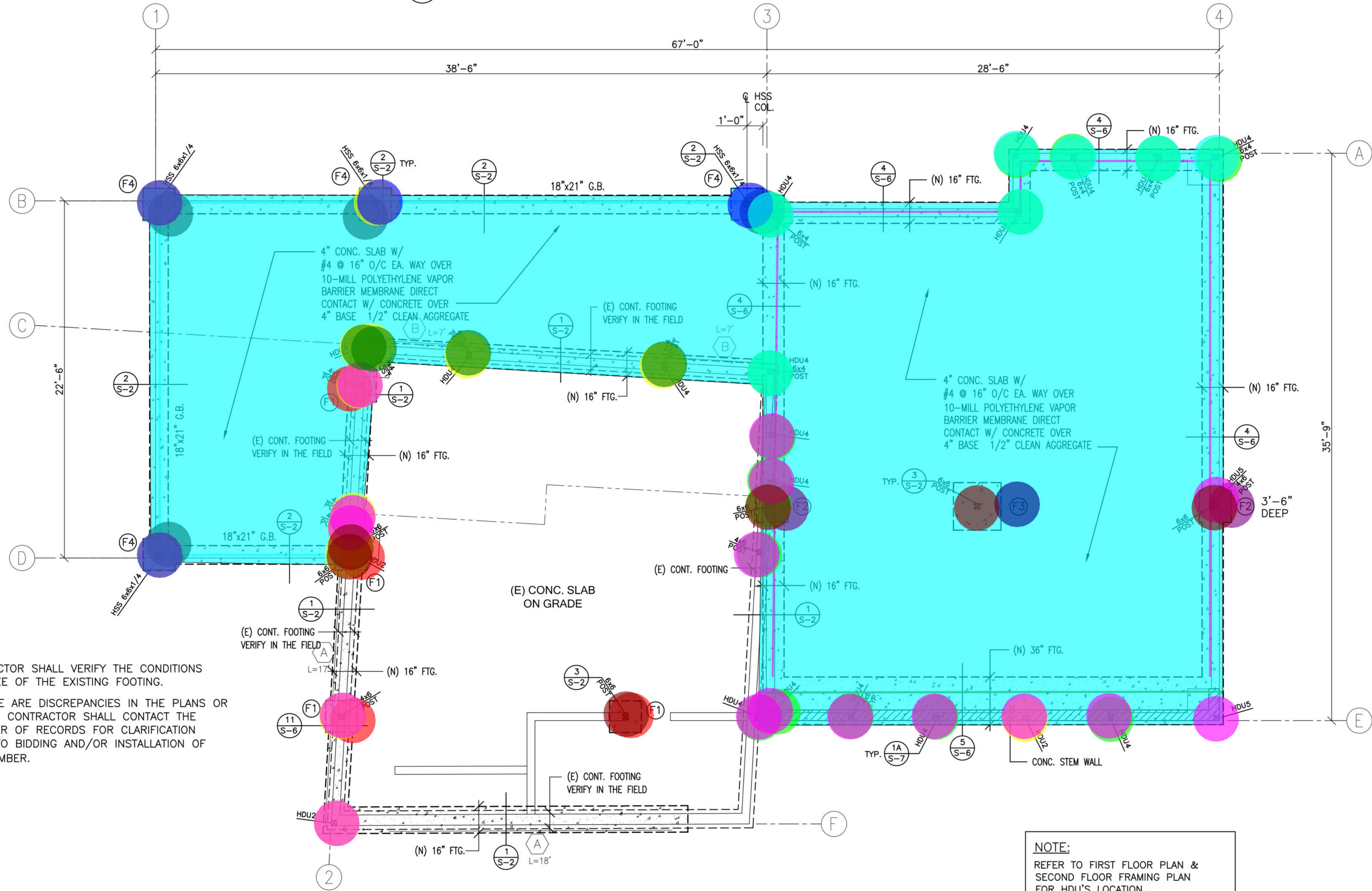
**MATERIAL SPECIFICATIONS:**

- A. TYPE OF SOIL: CLAY, SANDY CLAY BEARING VALUE = 1,500 PSF
- B. CONCRETE: STANDARD GRADE f'c = 2,500 PSI
- C. REINFORCING STEEL: PER ASTM A-615
- D. STRUCTURAL STEEL: SHAPES PER ASTM A-36 COLUMNS PER ASTM A-53 GRADE B
- E. BOLTS: PER ASTM A-307
- F. WELDING ALL FIELD WELDING BY CERTIFIED WELDERS E-70 XX ELECTRODES
- G. LUMBER: DOUGLAS FIR GRADING PER WCLUB RULE #16 SIZES PER PS 20-70 JOIST, PLANKS, GRADE #2 OR BETTER POST & BEAMS GRADE #1 OR BETTER
- H. FOR GRADE, SPECIES, AND MOISTURE CONTENT OF ALL LUMBER, AND GRADE OF PLYWOOD SHEETING, SEE GENERAL NOTES
- I. USE 1/4" HILTI SHOT PINS @ 32" ON CENTER LARR# 25646

**FOUNDATION NOTES:**

- 1. CONCRETE STRENGTH FOR FOUNDATION SHALL BE 2,500 PSI MINIMUM.
- 2. MINIMUM FOOTING REINFORCEMENT SHALL BE TWO #4 BAR-TOP AND TWO #4 BAR-BOTTOM
- 3. MINIMUM ANCHOR BOLT SIZE AND SPACING SHALL BE 5/8" AB @ 48" O.C., WITH 7" EMBEDMENT, AND 3" X 3" X 0.229" PLATE WASHERS. ANCHOR BOLTS SHALL BE LOCATED A MAXIMUM OF 12" AND 7" MINIMUM FROM THE END OF THE PLATE.
- 4. FOUNDATION BOLTS MUST BE PLACED WITH THE MANUFACTURER'S TEMPLATE
- 5. HOLD-DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS.
- 6. HOLD-DOWNS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
- 7. SATURATE THE SOIL 18 INCHES DEEP BEFORE PLACING THE CONCRETE SLAB.
- 8. SPECIAL INSPECTION BY A REGISTERED DEPUTY INSPECTOR IS REQUIRED FOR EPOXY BOLTING.
- 9. ALL WOOD EXPOSED TO WEATHER OR CONCRETE SHALL BE PRESSURE TREATED OR REDWOOD.

- NOTES:**
- 1. CONTRACTOR SHALL VERIFY THE CONDITIONS AND SIZE OF THE EXISTING FOOTING.
  - 2. IF THERE ARE DISCREPANCIES IN THE PLANS OR DETAILS, CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORDS FOR CLARIFICATION PRIOR TO BIDDING AND/OR INSTALLATION OF ANY MEMBER.



**NOTE:**  
REFER TO FIRST FLOOR PLAN & SECOND FLOOR FRAMING PLAN FOR HDU'S LOCATION.

**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**FOOTING PAD SCHEDULE**

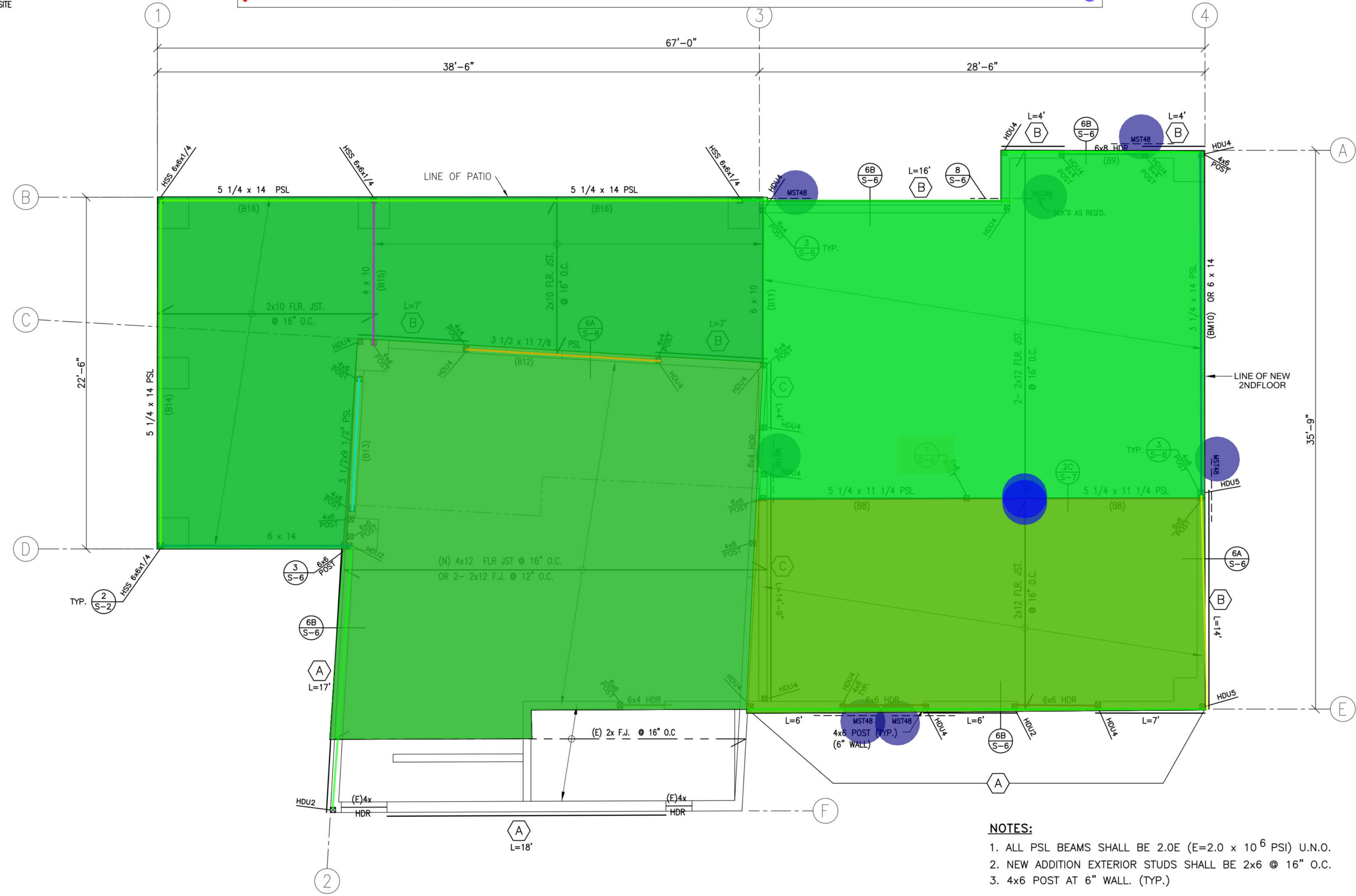
- F1 24" x 24" x 24" DEEP CONCRETE PAD W/ 3- #4 EA. WAY
- F2 30" x 30" x 24" DEEP CONCRETE PAD W/ 3- #4 EA. WAY
- F3 36" x 36" x 3'-6" DEEP CONCRETE PAD W/ 4- #4 EA. WAY
- F4 24" x 24" x 3'-6" DEEP CONCRETE PAD W/ 3- #4 EA. WAY



**GENERAL NOTES**

- CONTRACTOR RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM/COMPONENT LISTED IN THE "STATEMENT OF SPECIAL INSPECTION" SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE LADBS INSPECTORS AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH OF COMPONENT PER SEC 1709.1
- CONTINUOUS SPECIAL INSPECTOR IS REQUIRED FOR FIELD WELDING, CONCRETE STRENGTH  $f' > 2500$  PSI, HIGH STRENGTH BOLTING, SPRAYED-ON FIREPROOFING, ENGINEERED MASONRY, HIGH-LIFT GROUTING, PRE-STRESSED CONCRETE, HIGH LOAD DIAPHRAGMS AND SPECIAL MOMENT-RESISTING CONCRETE FRAMES.
- FIELD WELDING TO BE DONE BY WELDERS CERTIFIED BY THE LADBS FOR (STRUCTURAL STEEL) (REINFORCING STEEL) LIGHT GAUGE STEEL) CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED.
- SHOP WELDS MUST BE PERFORMED IN A LADBS LICENSED FABRICATOR'S SHOP.
- LADBS LICENSED FABRICATOR IS REQUIRED FOR (TRUSSES), (STRUCTURAL STEEL).
- PERIODIC SPECIAL INSPECTION IS REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS, AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING TO COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM. SPECIAL INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED WHERE THE FASTENER SPACING OF THE SHEATHING IS 4 INCHES ON CENTER OR LESS. (1707.3)
- IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOIL INVESTIGATION REPORT MAY BE REQUIRED.
- A COPY OF THE LOS ANGELES RESEARCH REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- HOLD-DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS AND HOLD-DOWNS SHALL BE FINGER TIGHT AND 1/2 WRENCH TURN JUST PRIOR TO COVERING THE WALL FRAMING. CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE STEEL PLATE WASHERS ON THE POST ON THE OPPOSITE SIDE OF THE ANCHORAGE DEVICE. PLATE SIZE SHALL BE A MINIMUM OF 0.299 INCH BY 3 INCHES.
- ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING "FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS. FLOOR SHALL HAVE TONGUE AND GROOVE OR BLOCKED PANEL EDGER. PLYWOOD SPANS SHALL CONFORM WITH TABLE 2304.7.
- ALL DIAPHRAGM AND SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS OR GALVANIZED BOX.
- ALL BOLT HOLES SHALL BE DRILLED 1/32 TO 1/16" OVERSIZED.
- HOLD-DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.

2x10 FLOOR JOIST @ 16" O.C	539.2 SQ FT
4x12 FLOOR JOIST @ 16" O.C	628.2 SQ FT
(2) 2x12 FLOOR JOIST @ 16" O.C	580.9 SQ FT
2x12 FLOOR JOIST @ 16" O.C	395.6 SQ FT
3/4" FLOOR SHEATHING T & G W/ 10 COMMON NAILS @ 6:6:10 PANEL INDEX 4/24	2142.5 SQ FT
5-1/4x14 PSL	59.2 FT
6x14 BEAM	12.2 FT
4x10 BEAM	9.2 FT
3-1/2x9-1/2" PSL BEAM	8.5 FT
3-1/2"x11-7/8" PSL BEAM	12.5 FT
6x10 BEAM	10.1 FT
6x4 HEADER BEAM	6.5 FT
MST48	7.0 EA
5-1/4x11-1/4 PSL BEAM	28.2 FT
3-1/4x14 PSL BEAM	21.9 FT
6x6 HEADER BEAM	11.0 FT
2x12 BLCOKING @32" O.C W/A35 @ 16" O.C	147.5 FT
2x12 SOLID BLOCKIUNG W A35 @ 16" O.C	26.2 FT
SIMPSON U HANGER	2.0 EA

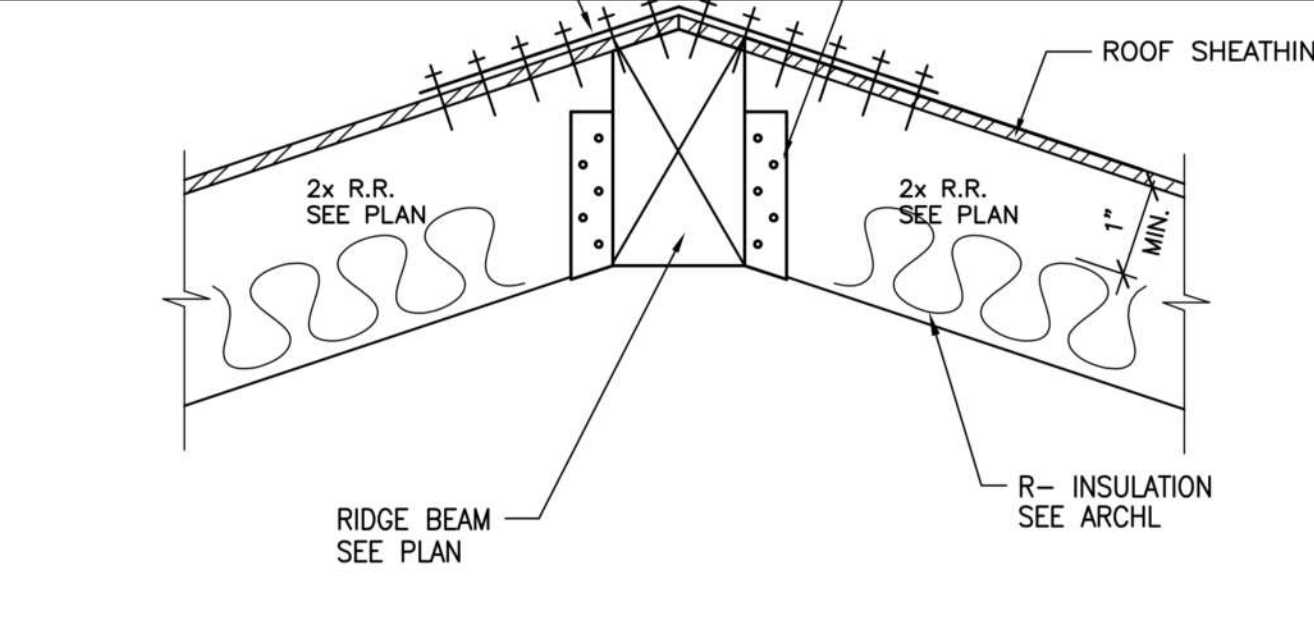
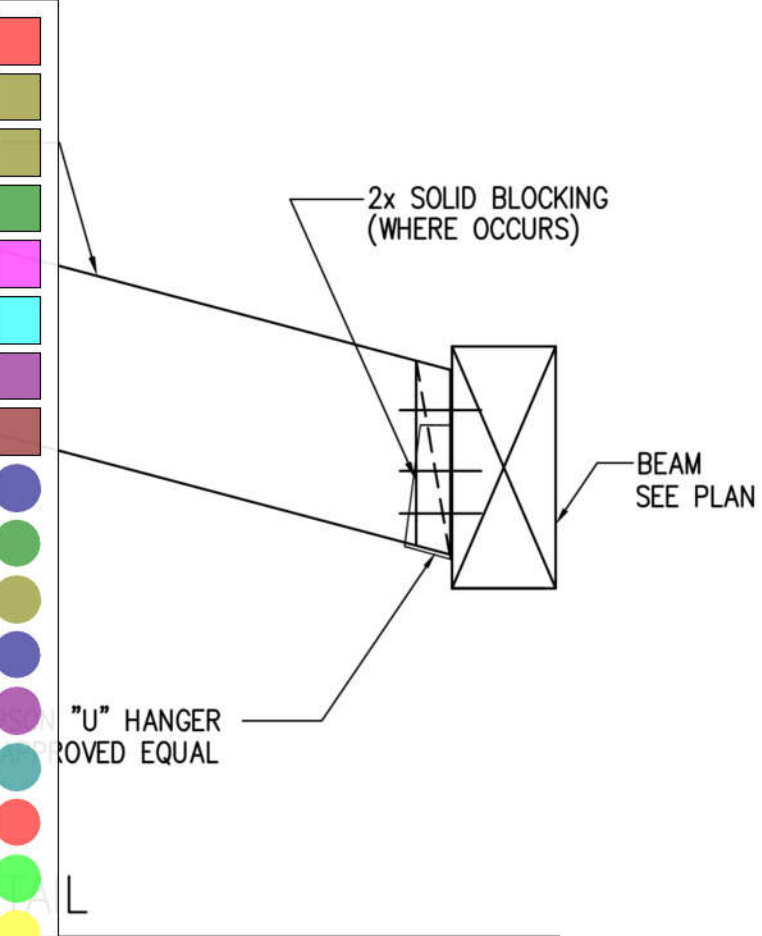


- NOTES:**
- ALL PSL BEAMS SHALL BE 2.0E (E=2.0 x 10<sup>6</sup> PSI) U.N.O.
  - NEW ADDITION EXTERIOR STUDS SHALL BE 2x6 @ 16" O.C.
  - 4x6 POST AT 6" WALL. (TYP.)

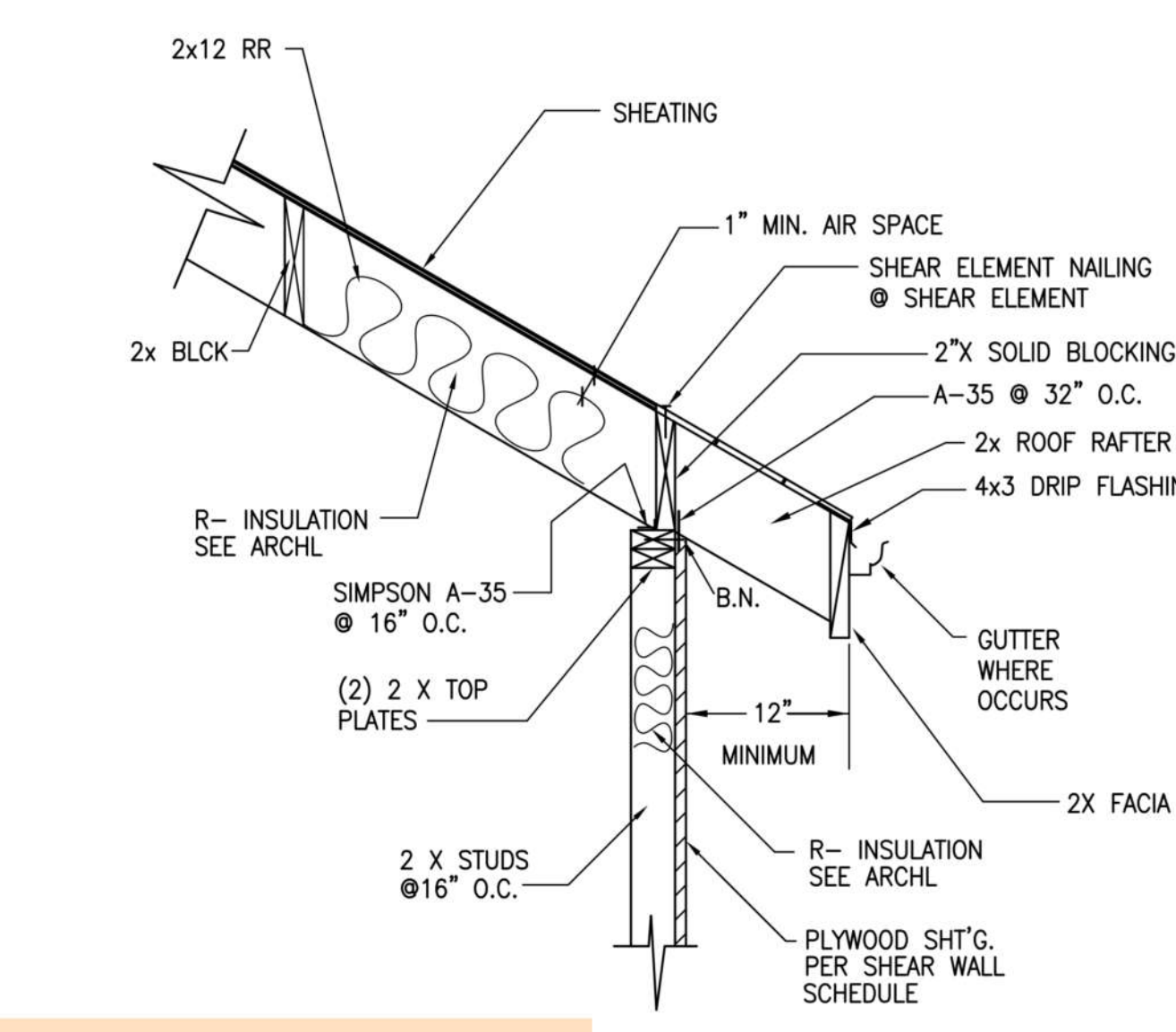
**FIRST FLOOR / SECOND FLOOR AND DECK FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



- 6X6 HEADER BEAM 16.7 FT
- 6X4 HEADER BEAM 31.5 FT
- 5-1/4X11-7/8" PSL BEAM 18.2 FT
- 6X10 BEAM 41.9 FT
- 6X12 HEADER BEAM 18.3 FT
- 6X8 HEADER BEAM 17.9 FT
- 5-1/4X11-1/4 PSL BEAM 28.2 FT
- 5-1/4X16 PSL BEAM 27.1 FT
- MST48 6.0 EA
- HFX 24X10 2.0 EA
- HDU8 7.0 EA
- HDU2 1.0 EA
- HDU4 1.0 EA
- HDU5 4.0 EA
- 4X6 POST 9.0 EA
- 6X6 POST 18.0 EA
- 4X6 KING POST 3.0 EA
- 2X10 ROOF RAFTER @ 16" O.C 642.0 SQ FT
- 2X12 ROOF RAFTER @ 16" O.C 397.7 SQ FT
- (2)2X12 ROOF RAFTER @ 16" O.C 579.8 SQ FT
- 3/4" ROOF SHEATHING STR II OR CDX PS 1-95 W/ 8D C... 1616.8 SQ FT
- 2X12 SOLID BLOCKING 50.9 FT
- A-35 @32" O.C 50.9 FT
- 2X12 FASCIA BEAM 50.9 FT
- SIMPSON A-35@16" O.C 50.9 FT
- 4X3 DRIP FLASHING 50.9 FT
- ALUMINUM GUTTER 50.9 FT
- 2X12 FASCIA BOARD 50.9 FT
- 12" W SOFFIT 50.9 FT
- SIMPSON U HANGER SIMPSON ST-22 STRAP 32" O.C 45.3 FT
- (2)2X4 SOLID BLOCKING 63.2 FT
- 3X12 SOLID BLOCKING 63.2 FT
- SIMPSON A35 F @48" O.C 63.2 FT
- SIMPSON ECCQ @32" O.C 26.3 FT



2 RIDGE TO ROOF RAFTER  
N.T.S.



1 DETAIL  
N.T.S.

**HARDY FRAME**

HFX SEE HFX SHEETS FOR DETAILS  
LARR-25759  
ESR-2089

**ROOF SHEATHING**  
3/4" PLYWOOD, STR. II OR CDX, PS 1-95 W/  
8d COMMON NAILS @ 6:6:10 PANEL INDEX 48/24

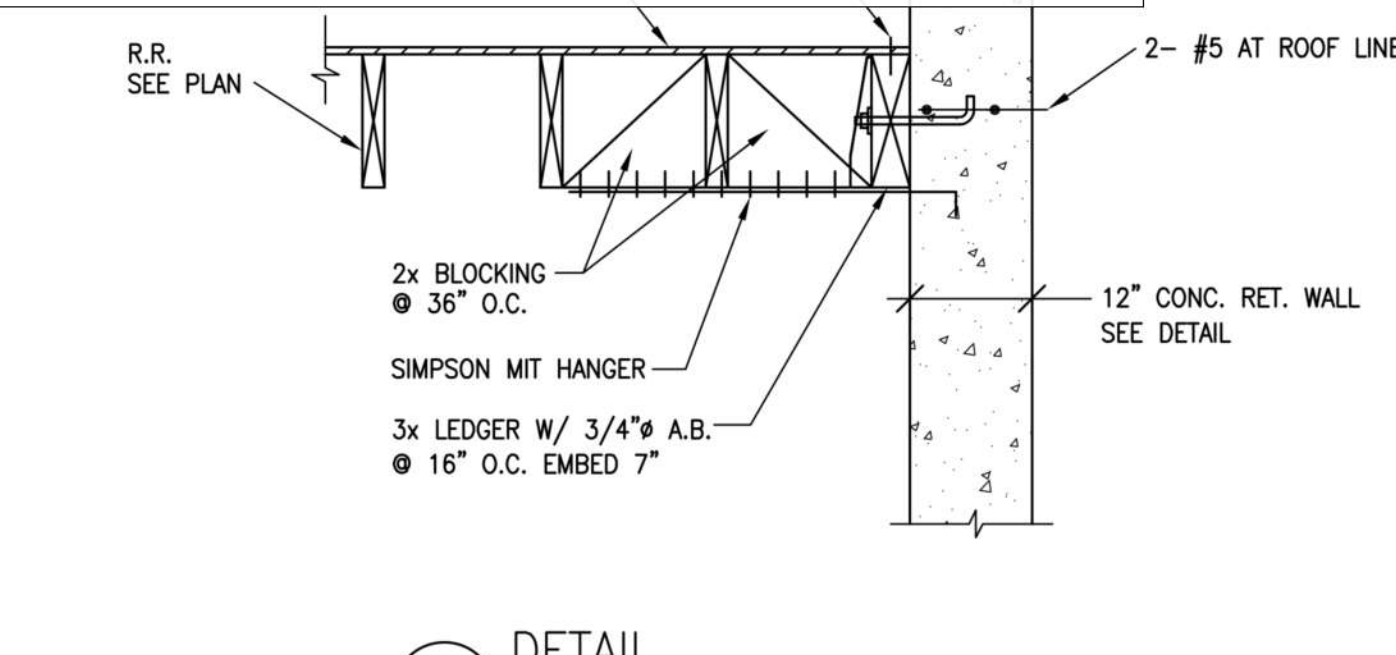
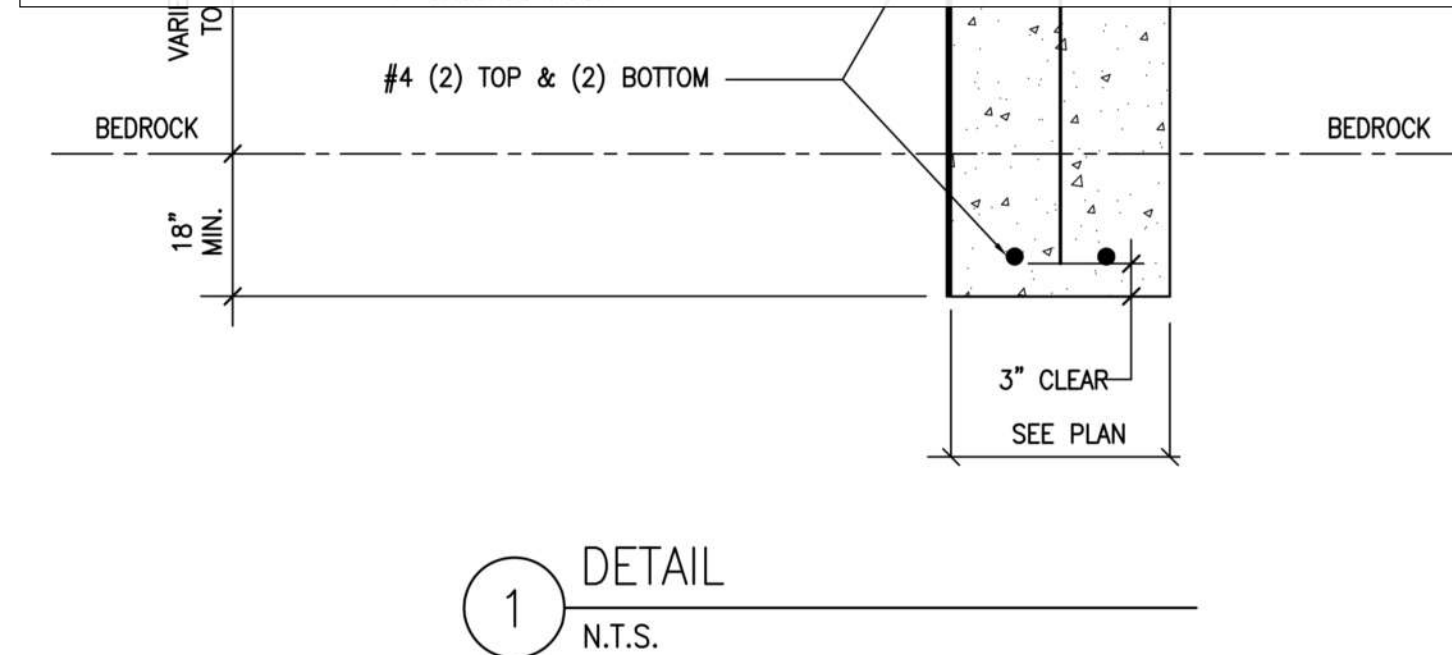
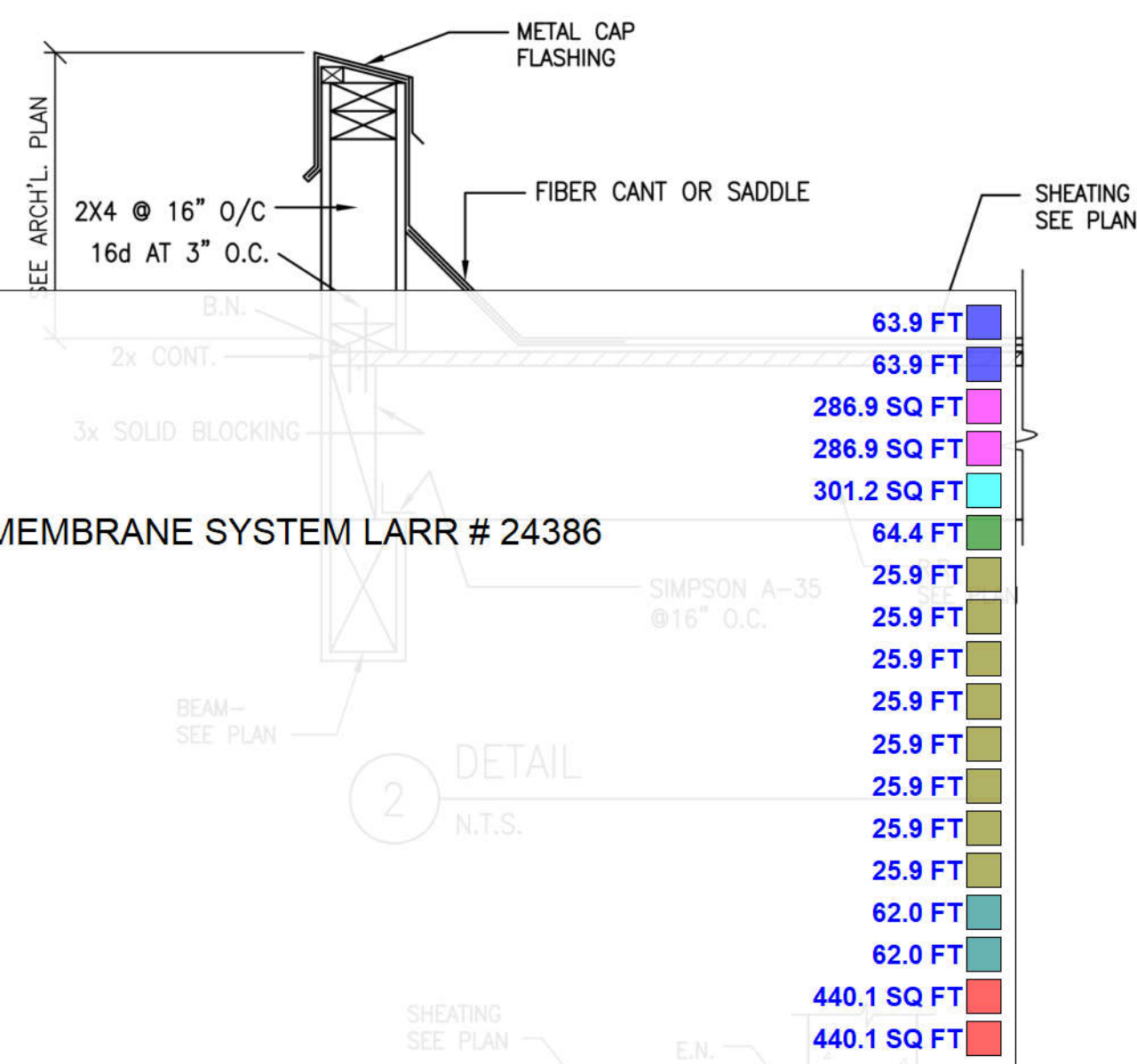


- NOTES:**
1. ALL PSL BEAMS SHALL BE 2.0E (E=2.0 x 10 PSI) U.N.O.
  2. ALL EXTERIOR STUDS SHALL BE 2x6 @ 16" O.C.

**SECOND FLOOR PLAN & ROOF FLOOR / FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



- 12"x12" FOOTING
- 12"x12" CONT GRAVEL W/ 4" DIA PREFORATED DRAIN PIPE
- 21" CONCRETE SLAB
- 12" CONCRETE SLAB
- 4" CONCRETE
- 12" CONCRETE RETAINING WALL (13'-3" H) W BITUTHENE WATERPROOFING MEMBRANE SYSTEM LARR # 24386
- 18"x48" FOOTING
- 2X4 PARAPET WALL (3'-3")
- METAL CAP FLASHING
- FIBER CANT OR SADDLE
- 5-1/4x11-7/8" PSL BEAM
- SIMPSON A35@16" O.C
- 3X12 SOLID BLOCKING
- THICKENED EDGE (0.23 SF)
- 3X12 LEDGER
- 3/4" DIA ANCHOR ROD @16" O.C 7" EMBED
- 2X12 ROOF RAFTER @16" O.C
- 2X12 BLOCKING @36" O.C



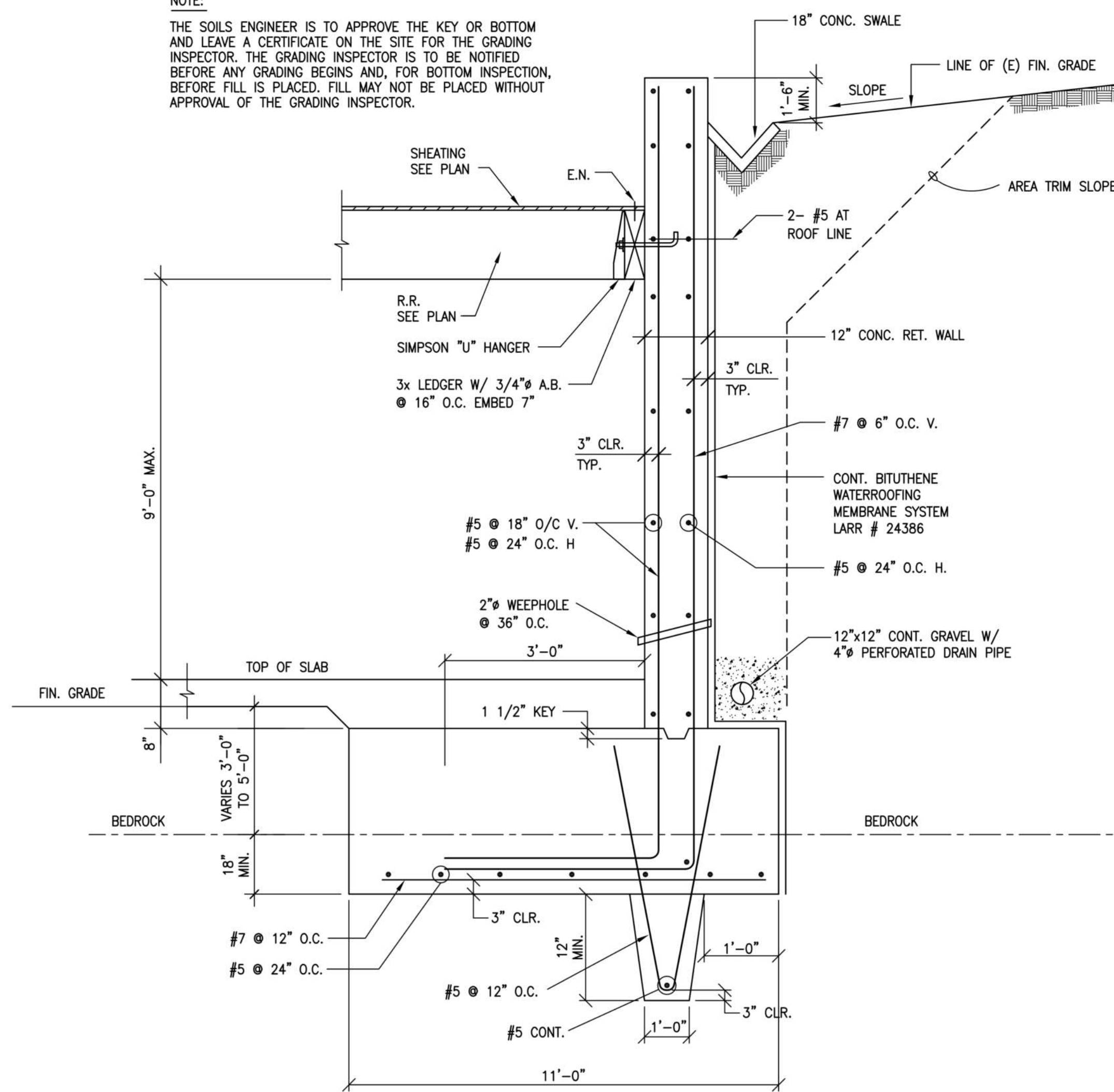
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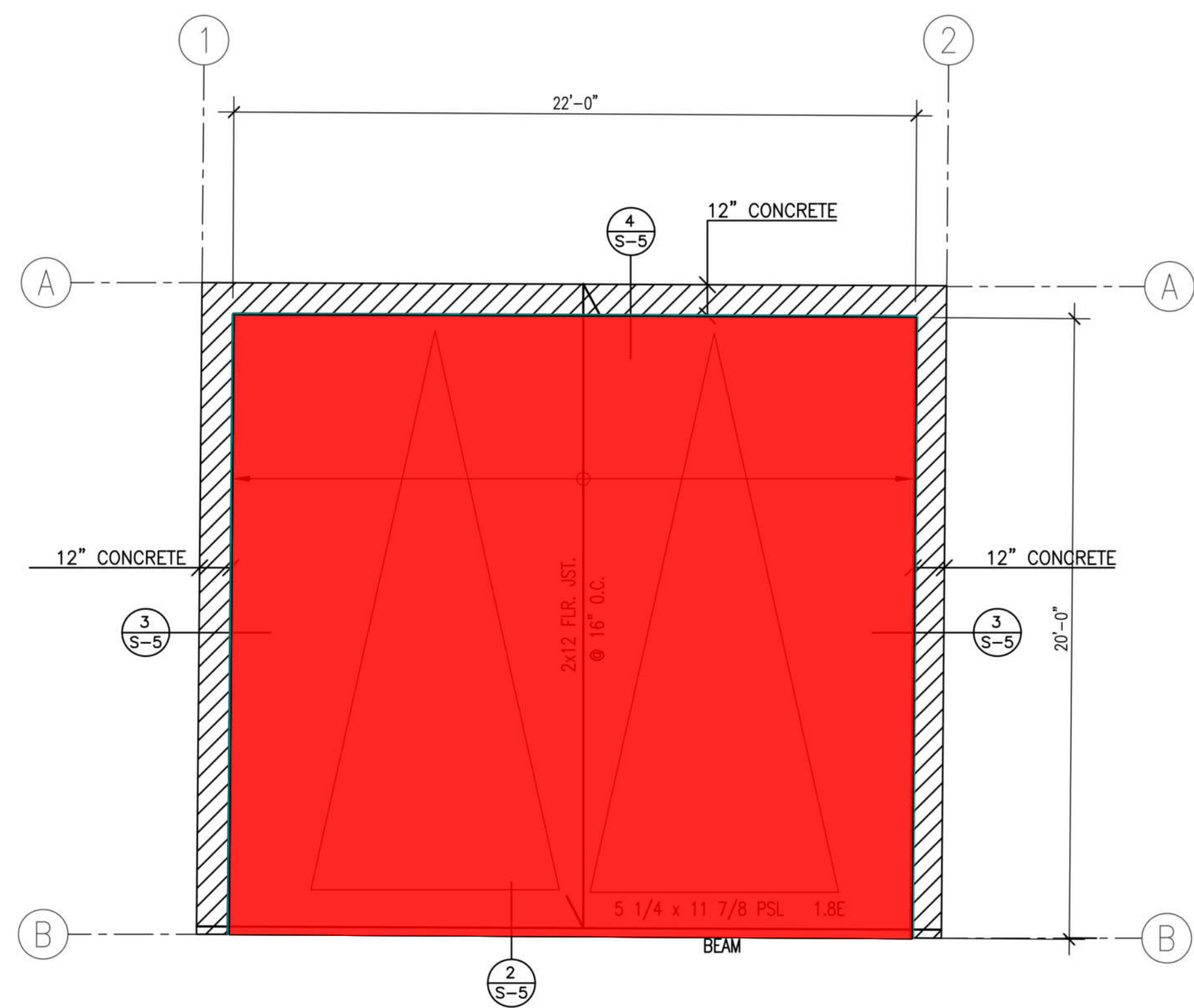
3 DETAIL  
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4 DETAIL  
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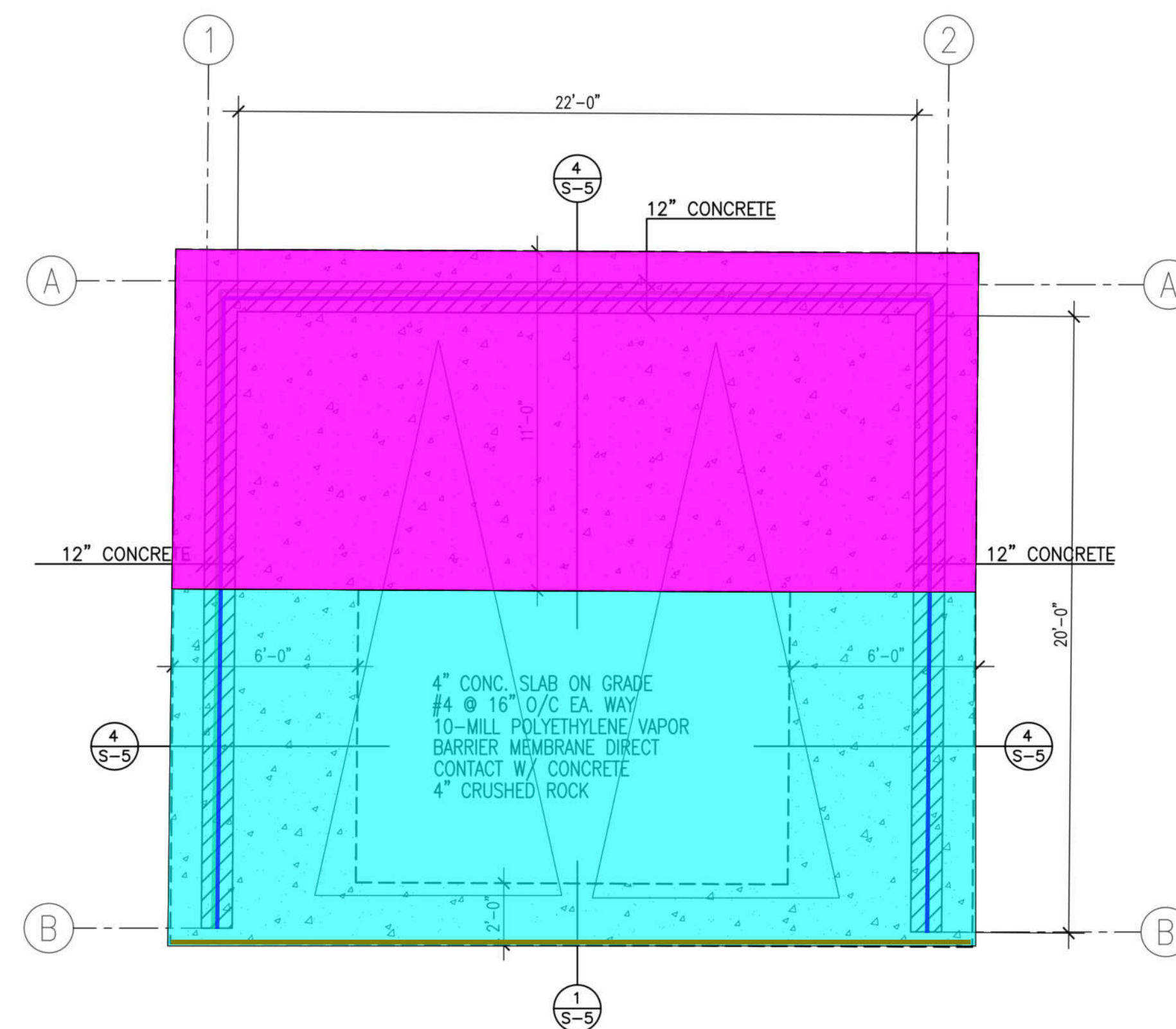
NOTE:  
THE SOILS ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED BEFORE ANY GRADING BEGINS AND, FOR BOTTOM INSPECTION, BEFORE FILL IS PLACED. FILL MAY NOT BE PLACED WITHOUT APPROVAL OF THE GRADING INSPECTOR.



4 RETAINING WALL DETAIL  
N.T.S.



GARAGE FRAMING PLAN  
SCALE: 1/4" = 1'-0"



GARAGE - FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

